

PRELIMINARY VARIANCE ANALYSIS

HEARING DATE: December 13, 2017

DUE DATE: November 13, 2017

Distributed: **October 23, 2017**



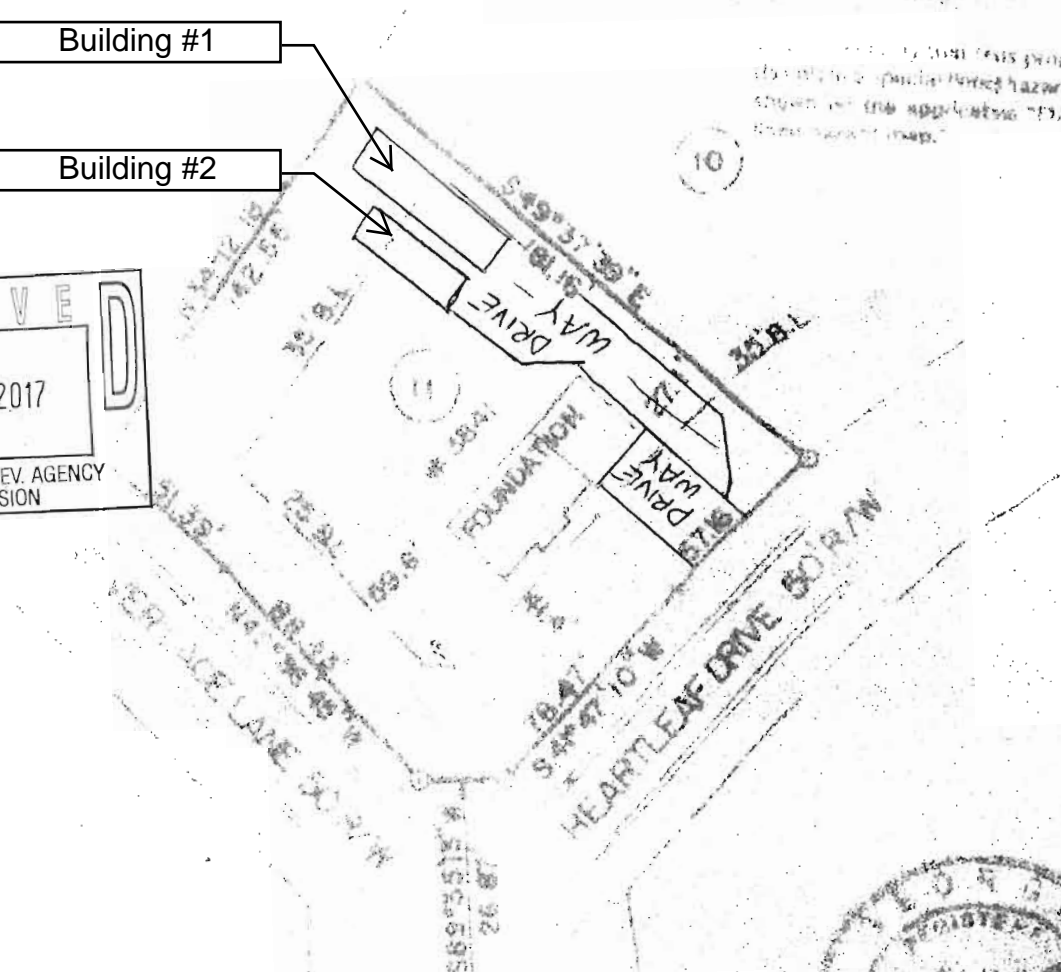
Cobb County... Expect the Best!

V-124
(2017)

Building #1

Building #2

RECEIVED
SEP 22 2017
COBB CO. COMM. DEV. AGENCY
ZONING DIVISION



...this plan is prepared
...hazard areas as
shown on the application. The site is
...map.



Handwritten signature

...WHEREAS... IS MADE
...PRECISELY... THE RESULT IN
...ACCORDANCE WITH...

...RESIDENCE IS NOT LOCATED MAINLY
...HAVING BEEN HERETOFORE USED AS
...OFFICE...

180 26

H. O. CARLIT LAND SURVEYOR
MARIETTA GEORGIA

...PICKETS GLEN...
...BISHOP...
COBB
...08-18-17

APPLICANT: Randale Keasler

PETITION No.: V-124

PHONE: 404-709-0170

DATE OF HEARING: 12-13-2017

REPRESENTATIVE: Randale Keasler

PRESENT ZONING: R-20

PHONE: 404-709-0170

LAND LOT(S): 75

TITLEHOLDER: Randale G. Keasler and Carla B. Keasler

DISTRICT: 20

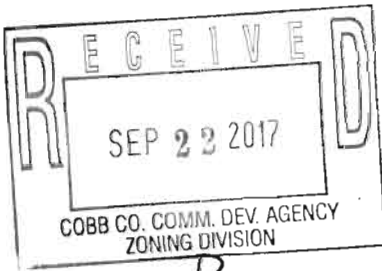
PROPERTY LOCATION: At the northern intersection of Silver lace Lane and Heartleaf Drive, west of Dallas Acworth Highway
(3841 Heartleaf Drive).

SIZE OF TRACT: 0.56 acres

COMMISSION DISTRICT: 1

TYPE OF VARIANCE: 1) Waive the setbacks for an accessory structure under 650 square feet (existing approximately 600 square foot awning "building 1") from the required 35 feet from the rear to six (6) feet; and 2) waive the setbacks for an accessory structure under 650 square feet (proposed approximately 384 square foot "building 2") from the required 35 feet from the rear to 15 feet.





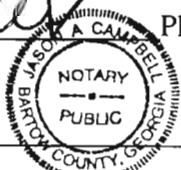
Application for Variance Cobb County

(type or print clearly)

Application No. V-124
Hearing Date: 12-13-17

Applicant RANDALE KEASLER Phone # 4047090170 E-mail randalekeasler@gmail.com
RANDALE KEASLER Address 3841 HEARTLEAF DR. ACWORTH, GA. 30101
(representative's name, printed) (street, city, state and zip code)

Randale Keasler Phone # SAME E-mail SAME
(representative's signature)



My commission expires: 2-3-20

Signed, sealed and delivered in presence of:
Jason A. Campbell
Notary Public

My Commission Expires February 3, 2020
Titleholder RANDALE G. KEASLER Phone # 4047090170 E-mail randalekeasler@gmail.com
Randale G. Keasler Address 3841 HEARTLEAF DR. ACWORTH, GA 30101
(attach additional signatures, if needed) (street, city, state and zip code)



My commission expires: 2-3-20

Signed, sealed and delivered in presence of:
Jason A. Campbell
Notary Public

My Commission Expires February 3, 2020
Present Zoning of Property R20

Location 3841 HEARTLEAF DR. ACWORTH, GA 30101 HWY 92 SILVERLACE
(street address, if applicable; nearest intersection, etc.)

Land Lot(s) 75 District: 204B Size of Tract .562 Acre(s)

Please select the extraordinary and exceptional condition(s) to the piece of property in question. The condition(s) must be peculiar to the piece of property involved.

Size of Property _____ Shape of Property _____ Topography of Property Other CORNER LOT

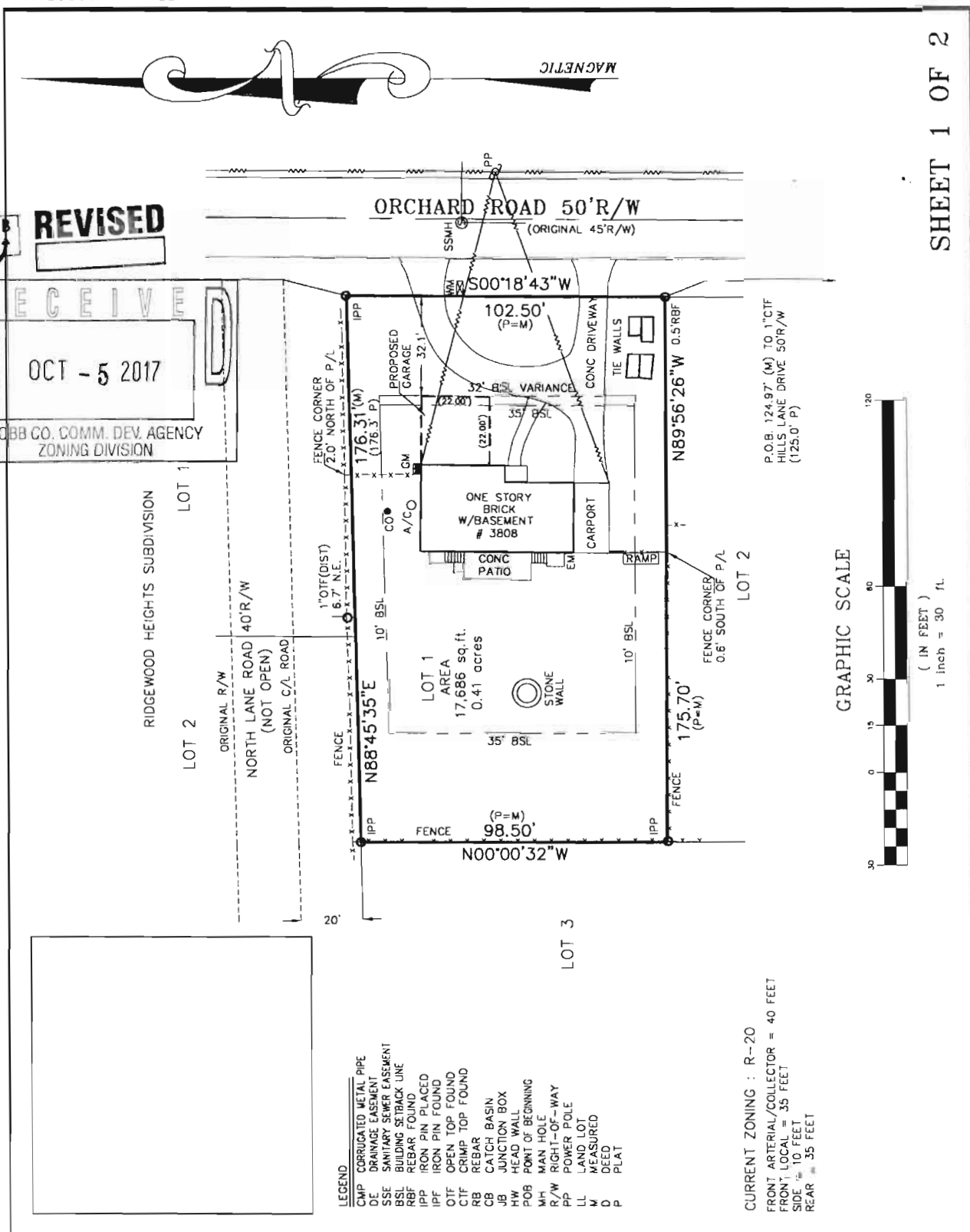
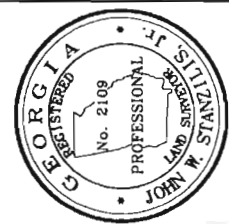
Does the property or this request need a second electrical meter? YES _____ NO

The Cobb County Zoning Ordinance Section 134-94 states that the Cobb County Board of Zoning Appeals must determine that applying the terms of the Zoning Ordinance without the variance would create an unnecessary hardship. Please state what hardship would be created by following the normal terms of the ordinance:

OUR PROPERTY IS A CORNER LOT THAT HAS A GENTLE SLOPE DOWN THE BACKYARD. BASE UPON THE REQUESTED LOCATION AT THE BACK RIGHT CORNER, THIS WOULD BE THE ONLY FEASIBLE LOCATION FOR A STRUCTURE TO BE CONSTRUCTED. ADDITIONALLY, THERE IS AN EXISTING CONCRETE SLAB AT THE REQUESTED SITE.

List type of variance requested: _____

FIELD DATE 09/15/17		DATE 09/19/17		OWNER / PURCHASER DAVID SOTTO		JOB NUMBER: 17-03612	
SCALE 1" = 30'		LAND LOT 769		17th DISTRICT		PLAT BOOK 14 PAGE 198	
2nd SECTION		BLOCK A		SUBDIVISION WINING HEIGHTS		DEED BOOK PAGE 198	
COBB COUNTY, GEORGIA		UNIT SECTION 1		AREA OF LOT: 17,686 S.F.		ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	
R LAND SURVEYING COMPANY		BOX 72393 ATLANTA, GEORGIA 31139-0993		PHONE (770) 794-9055 FAX (770) 794-9052		V-125 (2017)	



APPLICANT: David Sotto

PETITION No.: V-125

PHONE: 770-363-2222

DATE OF HEARING: 12-13-2017

REPRESENTATIVE: David Sotto

PRESENT ZONING: R-20

PHONE: 770-363-222

LAND LOT(S): 769

TITLEHOLDER: Sotto Design & Development, LLC

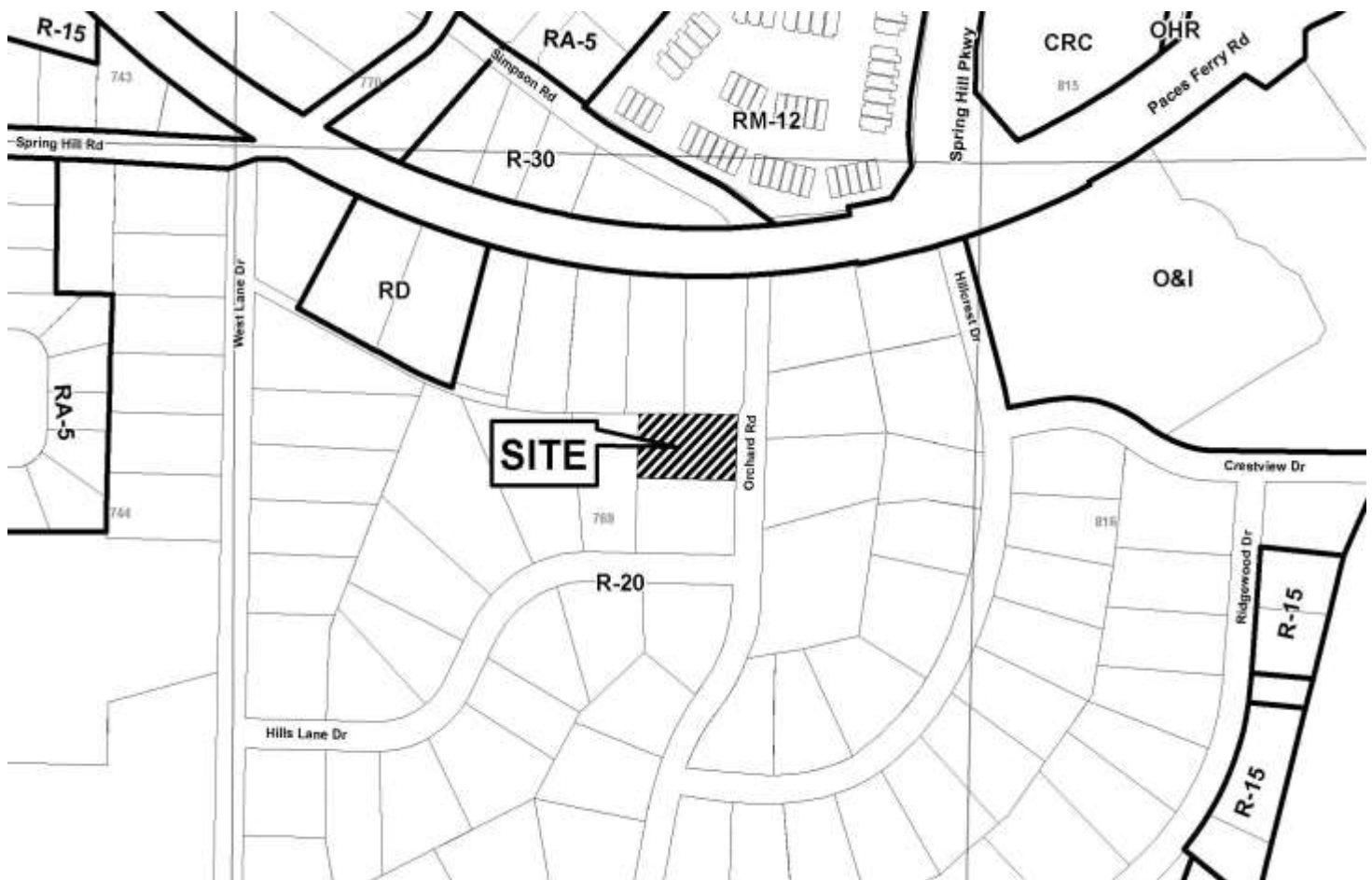
DISTRICT: 17

PROPERTY LOCATION: On the west side of Orchard Road, south of Paces Ferry Road (3808 Orchard Road).

SIZE OF TRACT: 0.41 acres

COMMISSION DISTRICT: 2

TYPE OF VARIANCE: 1) Waive the front setback from the required 35 feet to 32 feet; and 2) waive the minimum lot size from the required 20,000 square feet to 17,686 square feet.





Application for Variance Cobb County

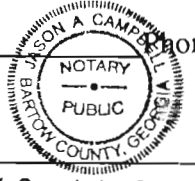
(type or print clearly)

Application No. V-125
Hearing Date: 12-13-17

Applicant David Sot to Phone # 770-363-2222 E-mail dsotto@gmail.com

DAVID SOTTO Address 3808 ORCHARD ROAD, SMYRNA, GA 30080
(representative's name, printed) (street, city, state and zip code)

[Signature] Phone # 770-363-2222 E-mail dsotto@gmail.com
(representative's signature)

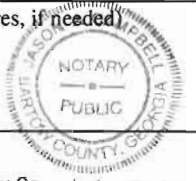


Signed, sealed and delivered in presence of:
Jason A. Campbell
Notary Public

My commission expires: _____
My Commission Expires
February 3, 2020

Titleholder Sotto Design & Development, LLC Phone # 770-363-2222 E-mail dsotto@gmail.com

Signature [Signature] Address: 2340 Valley View Dr. Smyrna, GA 30080
(attach additional signatures, if needed) (street, city, state and zip code)



Signed, sealed and delivered in presence of:
Jason A. Campbell
Notary Public

My commission expires: _____
My Commission Expires
February 3, 2020

Present Zoning of Property R-20

Location 3808 Orchard Rd. Smyrna, GA 30080
(street address, if applicable; nearest intersection, etc.)

Land Lot(s) 769 District: 17 Size of Tract 0.41 Acre(s)

Please select the extraordinary and exceptional condition(s) to the piece of property in question. The condition(s) must be peculiar to the piece of property involved.

Size of Property _____ Shape of Property _____ Topography of Property _____ Other

Does the property or this request need a second electrical meter? YES _____ NO _____

The Cobb County Zoning Ordinance Section 134-94 states that the Cobb County Board of Zoning Appeals must determine that applying the terms of the Zoning Ordinance without the variance would create an unnecessary hardship. Please state what hardship would be created by following the normal terms of the ordinance:

When I received my survey, it became evident that adjacent to my property on the side is a road (proposed in 1950) that was never built. As a result, the front property line was pushed in approximately 5 feet. As a result, my garage addition will not quite fit within the 35' setback

List type of variance requested: Requesting to change the front setback from 35' to 32'.

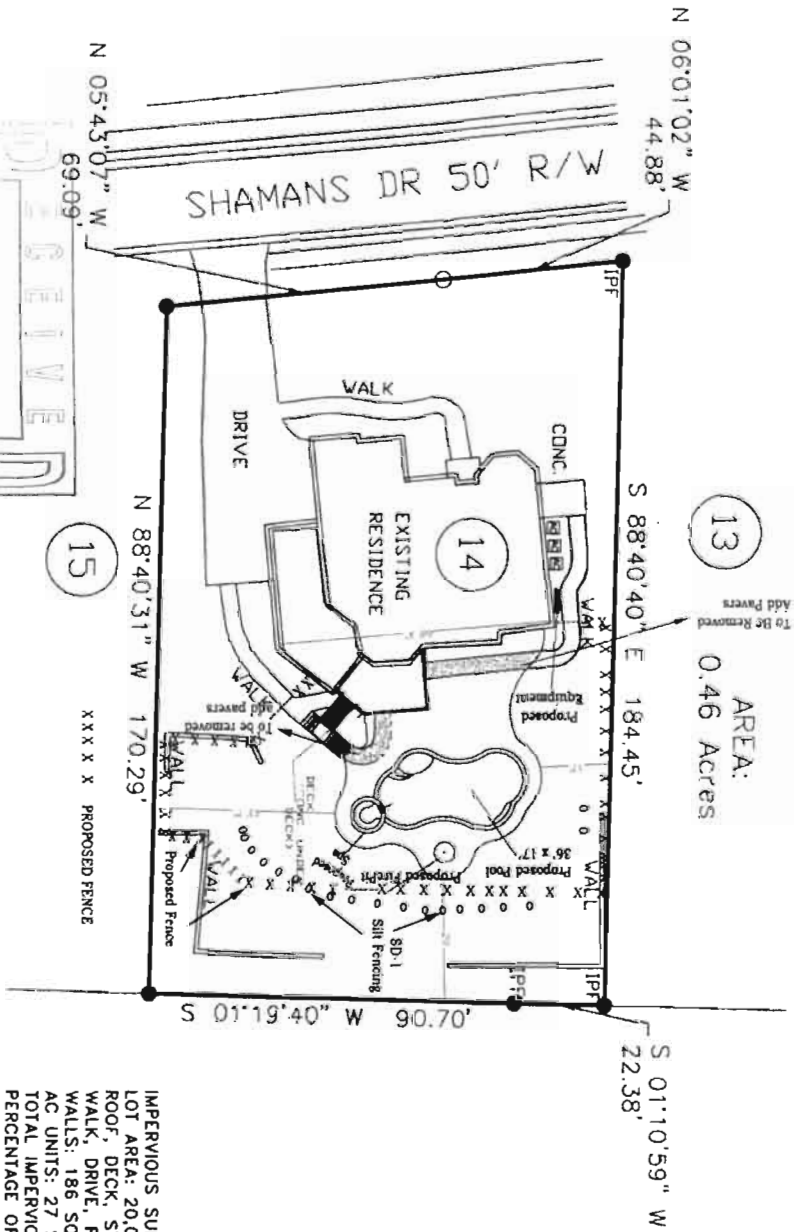
LEGEND

- PROPERTY CORNER WITHOUT MONUMENT
- MONUMENTED PROPERTY CORNER
- OPEN TOP PIPE
- CRUMPED TOP PIPE
- RIGHT OF WAY
- DEED BOOK
- PLAT BOOK
- PAGE
- PRESENT OR FORMER OWNER
- NOT TO SCALE
- IPF IRON PIN SET FUTURE
- IPF IRON PIN FOUND
- L.L. LAND LOT
- S/D SUBDIVISION
- P.O.B. POINT OF BEGINNING
- OVERHEAD POWER LINE
- DE DRAINAGE EASEMENT
- SSE SANITARY SEWER EASEMENT
- FENCE
- BL BUILDING LINE
- TOP OF STREAM BANK

ImperVIOUS Calculations

Lot Size	20,051
35% Allowed	7017.85
Existing	6590
Available	427.85
Decking 1470'-60"	882
Less concrete Removal	180

Requesting Variance to increase ImperVIOUS to 39%



PREPARED BY:
D & S LAND SURVEYING, INC.
DAVID W. SHIRLEY, R.L.S.
160NORTH ST., SUITE 105
CANTON, GA 30114
770-720-4443
LSF#000756



GRAPHIC SCALE: 1" = 30'
0' 30' 60'

AS-BUILT SURVEY FOR:
Aqua Design Pools Residence
Pullen
4210 SHAMANS DR MARIETTA, GA 30062
LOT 14 SUMERLIN PARK SUBDIVISION
LAND LOT 186, DISTRICT 16, SECTION 2
COBB COUNTY, GEORGIA
DATE OF FIELDWORK: 9/8/2017
MAP DATE: 9/18/2017

IMPERVIOUS SURFACE CALCULATIONS:
LOT AREA: 20,051 SQ. FT.
ROOF, DECK, STAIR: 3,582 SQ. FT.
WALK, DRIVE, PATIOS: 2,795 SQ. FT.
WALLS: 186 SQ. FT.
AC UNITS: 27 SQ. FT.
TOTAL IMPERVIOUS: 6,590 SQ. FT.
PERCENTAGE OF IMPERVIOUS SURFACES: 32.87%

APPLICANT: Steven Pullen

PETITION No.: V-126

PHONE: 678-395-7852

DATE OF HEARING: 12-13-2017

REPRESENTATIVE: Faye Colbert

PRESENT ZONING: R-20

PHONE: 770-517-1117

LAND LOT(S): 186

TITLEHOLDER: Steven D. Pullen and Sally N. Ramadan

DISTRICT: 16

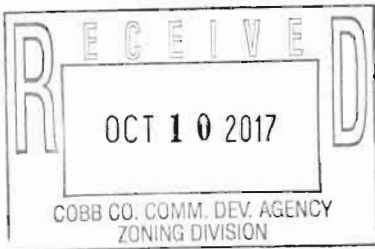
PROPERTY LOCATION: On the east side of Shamans Drive, south of Shamans Walk (4210 Shamans Drive).

SIZE OF TRACT: 0.46 acres

COMMISSION DISTRICT: 3

TYPE OF VARIANCE: 1) Increase the maximum impervious surface from the required 35% to 39%; and 2) allow the proposed pool equipment to the side of the house.





Application for Variance

Cobb County

4210 Shamans Dr, Marietta, GA

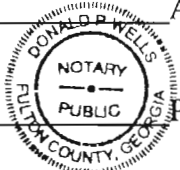
(type or print clearly)

Application No. V-126
Hearing Date: 12-13-17

Applicant STEVEN PULLEN Phone # 678 395 7852 E-mail Steveand sally pullean@ccha.com

Faye Colbert Address 6905 Alan Thomas Road, Cumming, GA 30028
(representative's name, printed) (street, city, state and zip code)

[Signature] Phone # 770-517-1117 E-mail Construction@agpadesign.com
(representative's signature)



My commission expires: _____
Signed, sealed and delivered in presence of: [Signature] Notary Public

Titleholder STEVEN PULLEN & SALLY RAMADAN Phone # _____ E-mail _____

Signature [Signatures] Address: 4210 Shamans Dr, Marietta, GA 30062
(attach additional signatures if needed) (street, city, state and zip code)

My commission expires: March 14, 2021
Signed, sealed and delivered in presence of: [Signature] Notary Public



Present Zoning of Property R-20

Location 4210 Shamans Dr, Marietta, GA 30062
(street address, if applicable; nearest intersection, etc.)

Land Lot(s) 186 District 16 Size of Tract .46 Acre(s)

Please select the extraordinary and exceptional condition(s) to the piece of property in question. The condition(s) must be peculiar to the piece of property involved.

Size of Property yes Shape of Property _____ Topography of Property _____ Other _____

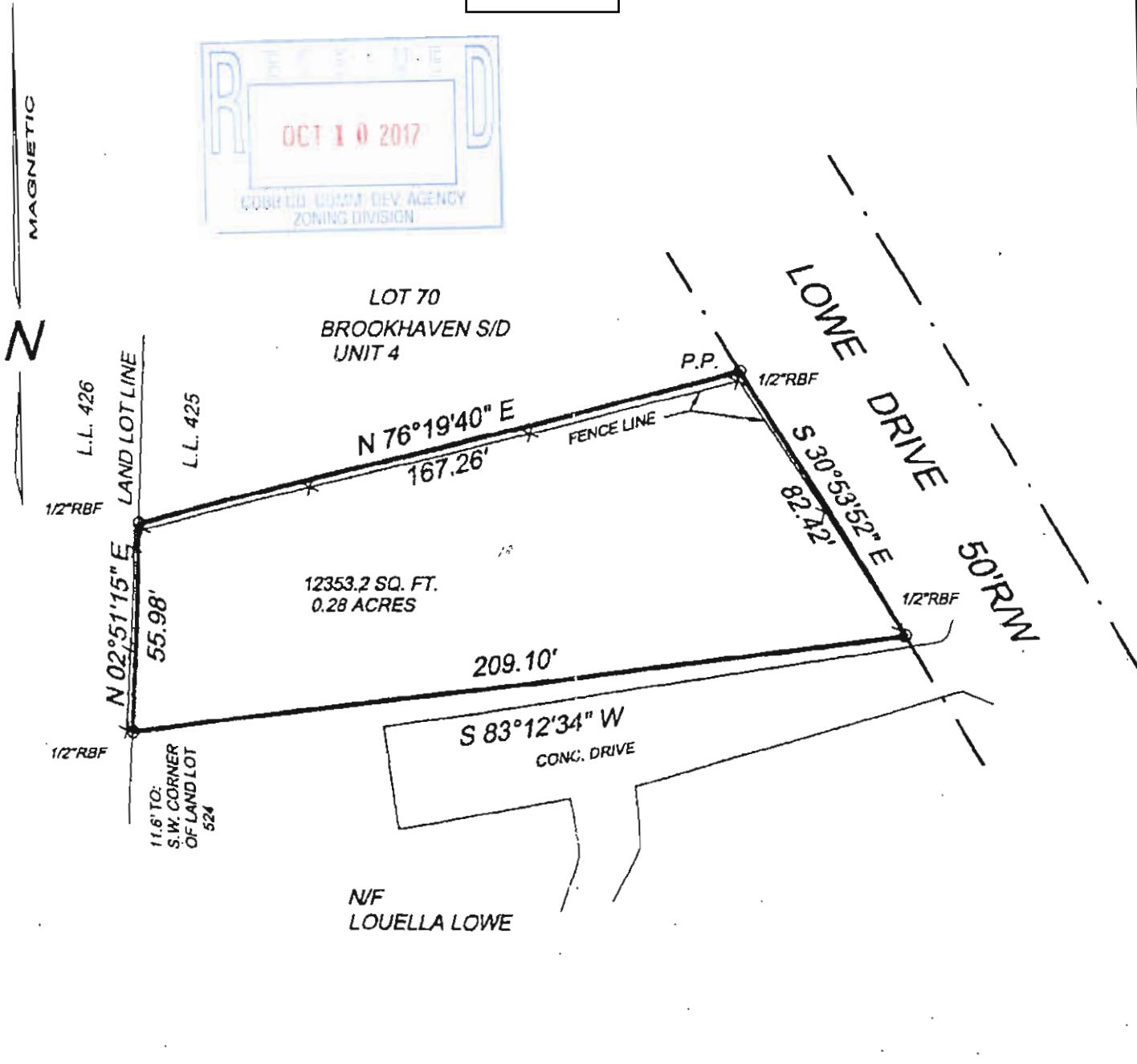
Does the property or this request need a second electrical meter? YES _____ NO x

The Cobb County Zoning Ordinance Section 134-94 states that the Cobb County Board of Zoning Appeals must determine that applying the terms of the Zoning Ordinance without the variance would create an unnecessary hardship. Please state what hardship would be created by following the normal terms of the ordinance:

With out a variance, the home owner will not be able to install adequate decking around the swimming pool. The proposed decking would be pavers. The home owners would not have the same peace and tranquility that his neighbors currently enjoy.

List type of variance requested: To increase the impervious surface allowed from 35.5' to 39.5'

V 7
V-127
(2017)



GRAPHIC SCALE - SCALE: 1"=40' THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 15,000± FEET AND AN ANGULAR ERROR OF ±3" PER ANGLE POINT AND WAS ADJUSTED USING THE COMPASS RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 100,000± FEET.

SURVEY PREPARED FOR:
WILLIE LOWE

LOWE DRIVE

LAND LOT 425
DISTRICT 16TH - SECTION 2ND
COBB COUNTY, GEORGIA
DATE: 11-13-03

ALL MATTERS OF TITLE EXCEPTED

SURVEY PREPARED BY:
FOSTER SURVEYING, INC.
SURVEYING - LAND PLANNING
118 WHEELER STREET
WOODSTOCK, GEORGIA 30188
770-592-4145 FAX 770-592-2472

THIS PROPERTY IS NOT IN A FEDERAL FLOOD AREA AS INDICATED GRAPHICALLY BY OFFICIAL FLOOD HAZARD MAPS.
DRAWING # 03-P0551
JOB# 03-0551

G. THOMAS FOSTER, JR.
R.L.S. #2695

APPLICANT: Araujo Richardo

PHONE: 678-776-8312

REPRESENTATIVE: Hussein Abaza

PHONE: 252-412-4035

TITLEHOLDER: Ricardo A. Araujo

PROPERTY LOCATION: On the west side of Lowe Drive, north of Kathryn Drive (3303 Lowe Drive).

PETITION No.: V-127

DATE OF HEARING: 12-13-2017

PRESENT ZONING: R-15

LAND LOT(S): 425

DISTRICT: 16

SIZE OF TRACT: 0.28 acres

COMMISSION DISTRICT: 3

TYPE OF VARIANCE: Waive the minimum lot size from the required 15,000 square feet to 12,353 square feet.





Application for Variance Cobb County

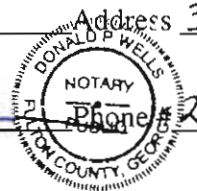
(type or print clearly)

Application No. V-127
Hearing Date: 12-13-17

Applicant Araujo Richardo Phone # 678 776 8312 E-mail -

Hussein Abaza Address 3017 Canton Pines PL Marietta, GA 30068
(representative's name, printed) (street, city, state and zip code)

[Signature] Phone # 252 412 4035 E-mail habaza@kennesaw.edu
(representative's signature)



Signed, sealed and delivered in presence of:
[Signature]
Notary Public

My commission expires: _____
My Commission Expires March 15, 2021

Titleholder Araujo Richardo Phone # 678 776 8312 E-mail _____

Signature [Signature] Address: 471 Briar Field Xing Marietta GA 30066
(attach additional signatures, if needed) (street, city, state and zip code)



Signed, sealed and delivered in presence of:
[Signature]
Notary Public

My commission expires: _____
My Commission Expires March 15, 2021

Present Zoning of Property R-15

Location 3303 Lowe drive Marietta GA 30066
(street address, if applicable; nearest intersection, etc.)

Land Lot(s) 425 District 16th Size of Tract .28 Acre(s)

Please select the extraordinary and exceptional condition(s) to the piece of property in question. The condition(s) must be peculiar to the piece of property involved.

Size of Property 12,625 Shape of Property rectangle Topography of Property flat Other _____

Does the property or this request need a second electrical meter? YES _____ NO X

The Cobb County Zoning Ordinance Section 134-94 states that the Cobb County Board of Zoning Appeals must determine that applying the terms of the Zoning Ordinance without the variance would create an unnecessary hardship. Please state what hardship would be created by following the normal terms of the ordinance:

The Variance will allow the owner to be able to use the lot for the intended purpose, the suggested house and paving will only cover 29% of the lot

List type of variance requested: allow building a single family house of 2,563 sq ft first floor and 1,364 sq ft second floor

SURVEY NOTES:

1.) THE PROPERTY IS LESS THAN 2000 FEET FROM THE CHATTAHOOCHEE RIVER AND IS SUBJECT TO ALL RULES AND REGULATIONS BY THE ATLANTA REGIONAL COMMISSION.

2.) PROPERTY IS ZONED R-30. CURRENT ZONING SETBACKS SHOWN. HOUSE WAS BUILT IN 1934 ACCORDING TO COBB COUNTY TAX ASSESSOR OFFICE PRIOR TO THE ADOPTION OF COBB COUNTY ZONING ORDINANCE.

**V-128
(2017)**

THIS IS PREPARED FROM A FIELD SURVEY USING A FIVE SECOND DIGITAL THEODOLITE AND ELECTRONIC DISTANCE MEASUREMENT SYSTEM. LINEAR PRECISION OF TRAVERSE: 1/29,819. ANGULAR ERROR: 6" PER POINT. THE TRAVERSE WAS RUN USING THE COMPASS RULE. LINEAR PRECISION OF THIS PLAT: 1/123,255. MATTERS OF TITLE ARE EXCEPTED.

THIS PARCEL OF LAND IS NOT IN THE 100 YEAR FLOOD PLAIN AND IS IN ZONE X; ACCORDING TO F.E.M.A. (F.I.A.) COMMUNITY NUMBER # 130052, MAP NUMBER # 13067 C 0227 H, DATED MARCH 4, 2013.

LOCATION OF UTILITIES EXISTING ON OR SERVING THE SUBJECT PROPERTY IS DETERMINED BY OBSERVABLE EVIDENCE ONLY. THIS PROPERTY MAY BE SUBJECT TO EASEMENTS, CLAIMS, PRESCRIPTION AND SUBSURFACE CONDITIONS THAT ARE NOT VISIBLE OR RECORDED, THUS DEEMING THEM UNDETERMINED AND NOT SHOWN. THIS PLAT IS INTENDED FOR THE PARTIES STATED ON THE FACE OF SURVEY. USE OF THE SURVEY BY THIRD PARTIES IS AT THEIR OWN RISK.

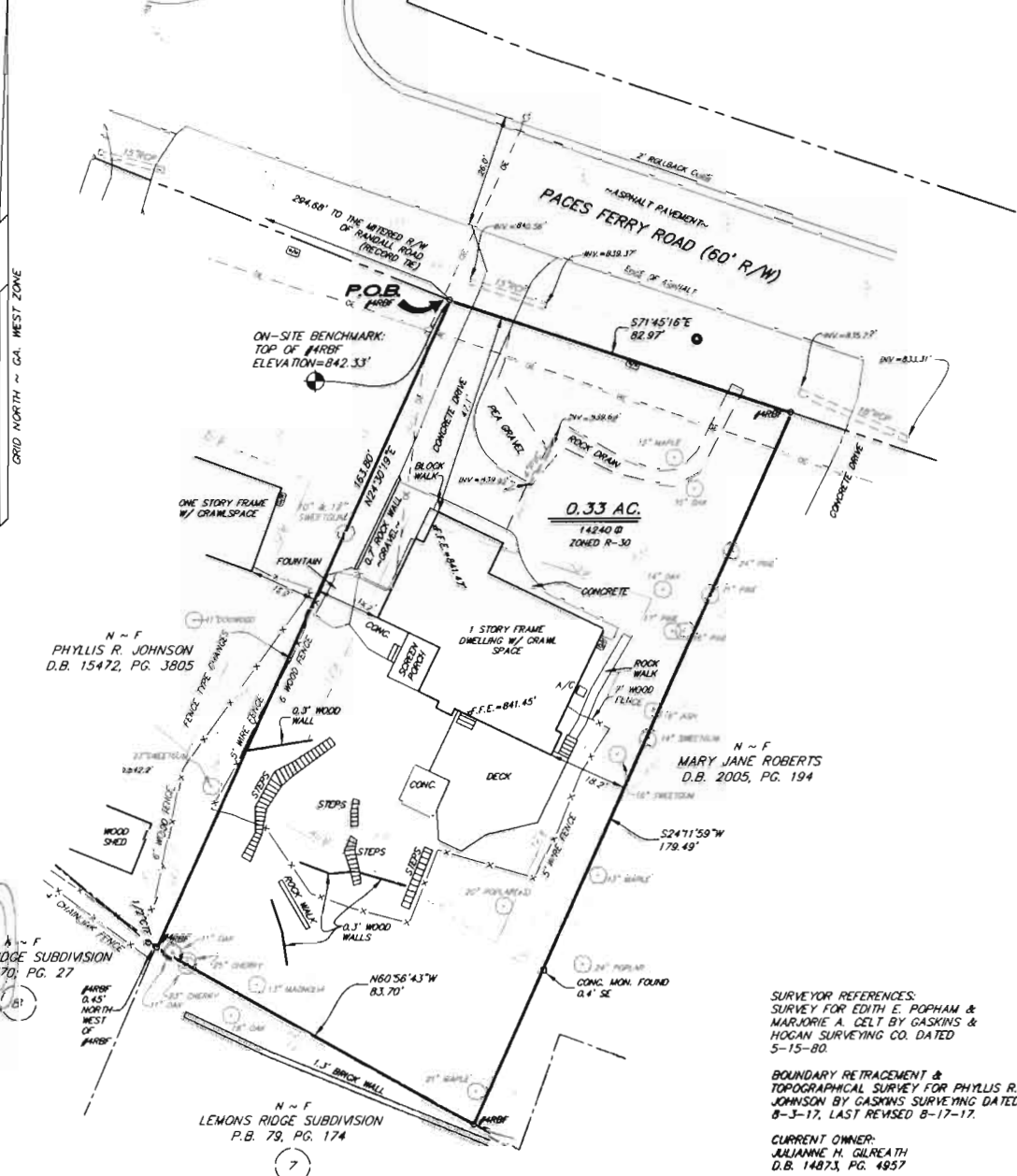
FOR RECORDING INFORMATION
CLERK OF COURT

GPS NOTES:

1.) HORIZONTAL DATUM IS NAD 83
VERTICAL DATUM IS NAVD 88.

2.) THE NORTHING, EASTING, AND ELEVATION OF THE STARTING POINTS FOR THIS SURVEY WERE OBTAINED UTILIZING A TRIMBLE 5800 GPS RECEIVER WITH A TRIMBLE TSC2 DATA COLLECTOR RECEIVING RTK CORRECTIONS VIA A CELL PHONE FROM THE EGPS SOLUTIONS REAL TIME NETWORK. THE TECHNIQUE USED WAS RTK CORRECTED MEASUREMENTS FROM THE TRIMBLE VRS REAL TIME NETWORK OPERATED BY EGPS SOLUTIONS, INC. THE RELATIVE POSITIONAL ACCURACY OBTAINED ON THE POINTS UTILIZED IN THIS SURVEY WERE 0.04 FT. HORIZONTAL AND 0.07 FT. VERTICAL AT THE 95% CONFIDENCE LEVEL.

LEGEND	
	P.P. - POWER POLE
	L.P. - LIGHT POLE
	F.H. - FIRE HYDRANT
	S.M. - SANITARY SEWER MANHOLE
	W.M. - WATER METER
	G.M. - GAS METER
	RBS - REINFORCING BAR SET
	RBF - REINFORCING BAR FOUND
	CTF - CRIMP TOP PIPE FOUND
	OTF - OPEN TOP PIPE FOUND
	W - WOOD STAKE FOUND
	X - TYPE OF FENCE
	J.B. - JUNCTION BOX
	D.I. - DROP INLET / YARD INLET
	C.B. - CATCH BASIN
	R.C.P. - REINFORCED CONCRETE PIPE
	C.M.P. - CORRUGATED METAL PIPE
	F.F.E. - FINISHED FLOOR ELEVATION
	W.V. - WATER VALVE
	S.C.O. - SEWER CLEAN OUT
	T.M. - TELEPHONE MANHOLE
	O.E. - OVERHEAD POWER LINES
	H.W. - HEADWALL
	P.W. - POWERLINE
	S.A. - STREET ADDRESS
	W - WATER LINE
	T - UNDERGROUND TELEPHONE LINE
	G - GAS LINE
	E - UNDERGROUND ELECTRICAL LINE



COBB CO. COMM. DEV. AGENCY
ZONING DIVISION

SURVEYOR REFERENCES:
SURVEY FOR EDITH E. POPHAM & MARJORIE A. CELT BY GASKINS & HOGAN SURVEYING CO. DATED 5-15-80.

BOUNDARY RETRACEMENT & TOPOGRAPHICAL SURVEY FOR PHYLLIS R. JOHNSON BY GASKINS SURVEYING DATED 8-3-17, LAST REVISED 8-17-17.

CURRENT OWNER:
JULIANNE M. GILREATH
D.B. 14873, PG. 4957

PROPERTY ADDRESS:
4240 PACES FERRY ROAD



THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

REVISIONS

Gaskins
186 Powder Springs Rd. Marietta, GA 30066 Phone: (770) 424-1001
147 Bethesda College Pkwy. Suwanee, GA 30086 Phone: (770) 459-0608

FIELD DATE: 9-28-17 DRAWN BY: JAH
 OFFICE DATE: 10-2-17 CHECKED BY: DCO
 SCALE: 1"=20" FILE: S:/BND/COBB/17/17..

BOUNDARY RETRACEMENT & TOPOGRAPHICAL SURVEY FOR:
CHIP GROOME
#4240 PACES FERRY ROAD

LOCATED IN L.L. 973
 17th DISTRICT, 2nd SECTION
 COBB COUNTY, GA.



Jason A. Hopkins

10/02/17
DATE

APPLICANT: Chip Groome

PHONE: 404-741-3443

REPRESENTATIVE: Chip Groome

PHONE: 404-741-3443

TITLEHOLDER: Julianna Gilreath

PROPERTY LOCATION: On the south side of Paces Ferry Road, south of New Paces Ferry Road (4240 Paces Ferry Road).

PETITION No.: V-128

DATE OF HEARING: 12-13-2017

PRESENT ZONING: R-30

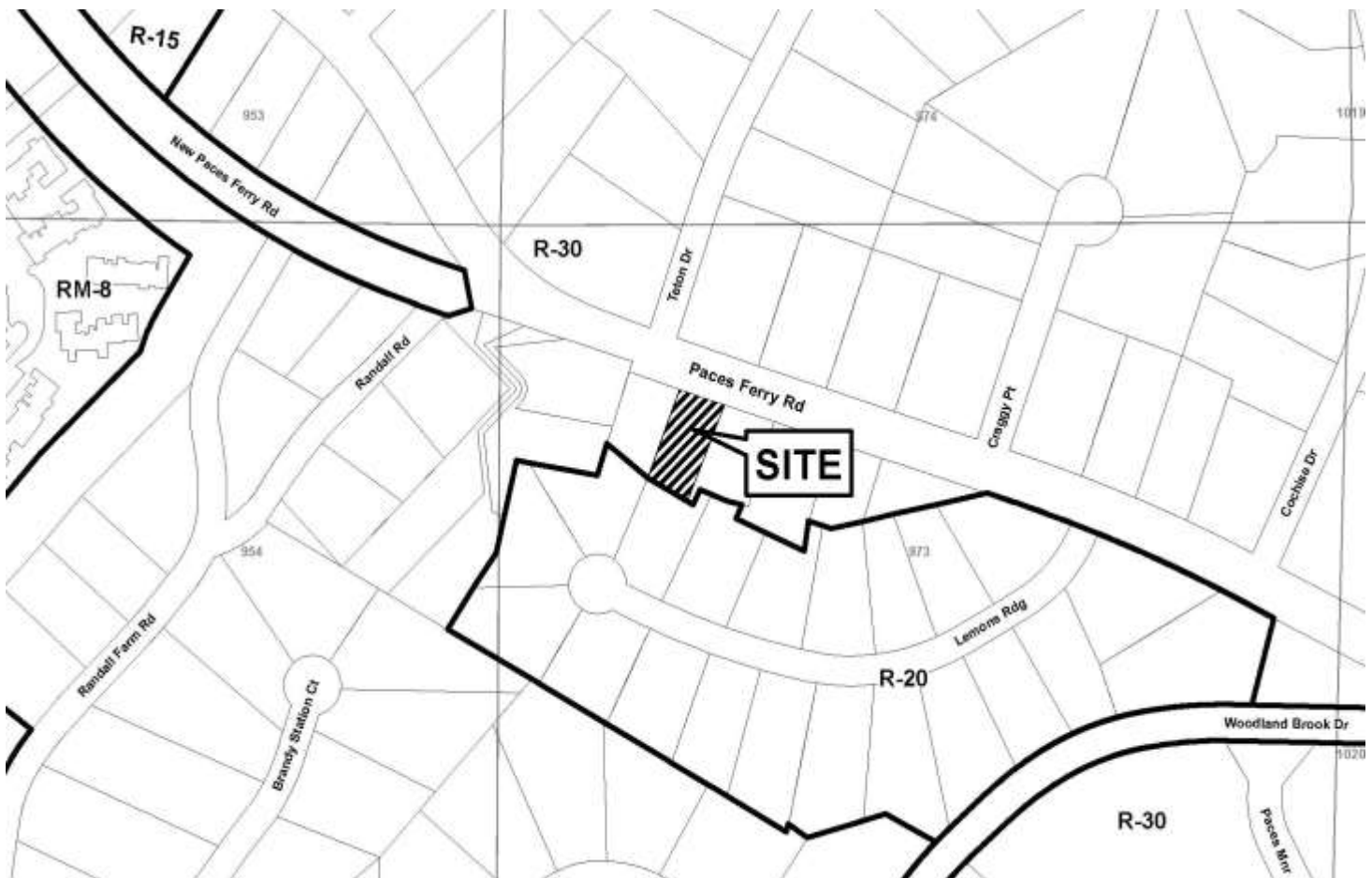
LAND LOT(S): 973

DISTRICT: 17

SIZE OF TRACT: 0.33 acres

COMMISSION DISTRICT: 2

TYPE OF VARIANCE: 1) Waive the front setback from the required 50 feet to 40 feet; 2) waive the side setbacks from the required 12 feet to 10 feet; and 3) waive the rear setback from the required 40 feet to 30 feet.





Application for Variance Cobb County

COBB CO. COMM. DEV. AGENCY
ZONING DIVISION

(type or print clearly)

Application No. V-128
Hearing Date: 12-13-17

Applicant CHIP GROOMER Phone # 404-741-3443 E-mail CGROOMER@GROVESTREET

CHIP GROOMER Address 4252 PACES FERRY RD. ATLANTA, GA 30339
(representative's name, printed) (street, city, state and zip code)

Chip Groomer Phone # 404-741-3443 E-mail CGROOMER@GROVESTREETPARTNERS.COM
(representative's signature)

My commission expires:

Signed, sealed and delivered in presence of:
Dana M. Falls
Notary Public

Titleholder JULIA ANNA GILREATH Phone # 770-435-0841 E-mail jhgilreath@gmail.com

Signature [Signature] Address: 4240 PACES FERRY RD, ATLANTA, GA 30339
(attach additional signatures, if needed) (street, city, state and zip code)

My commission expires:

Signed, sealed and delivered in presence of:
Dana M. Falls
Notary Public

Present Zoning of Property R-30

Location 4240 PACES FERRY RD., ATLANTA, GA. 30339
(street address, if applicable; nearest intersection, etc.)

Land Lot(s) 973 District 17TH Size of Tract .33 Acre(s)

Please select the extraordinary and exceptional condition(s) to the piece of property in question. The condition(s) must be peculiar to the piece of property involved.

Size of Property Shape of Property _____ Topography of Property _____ Other _____

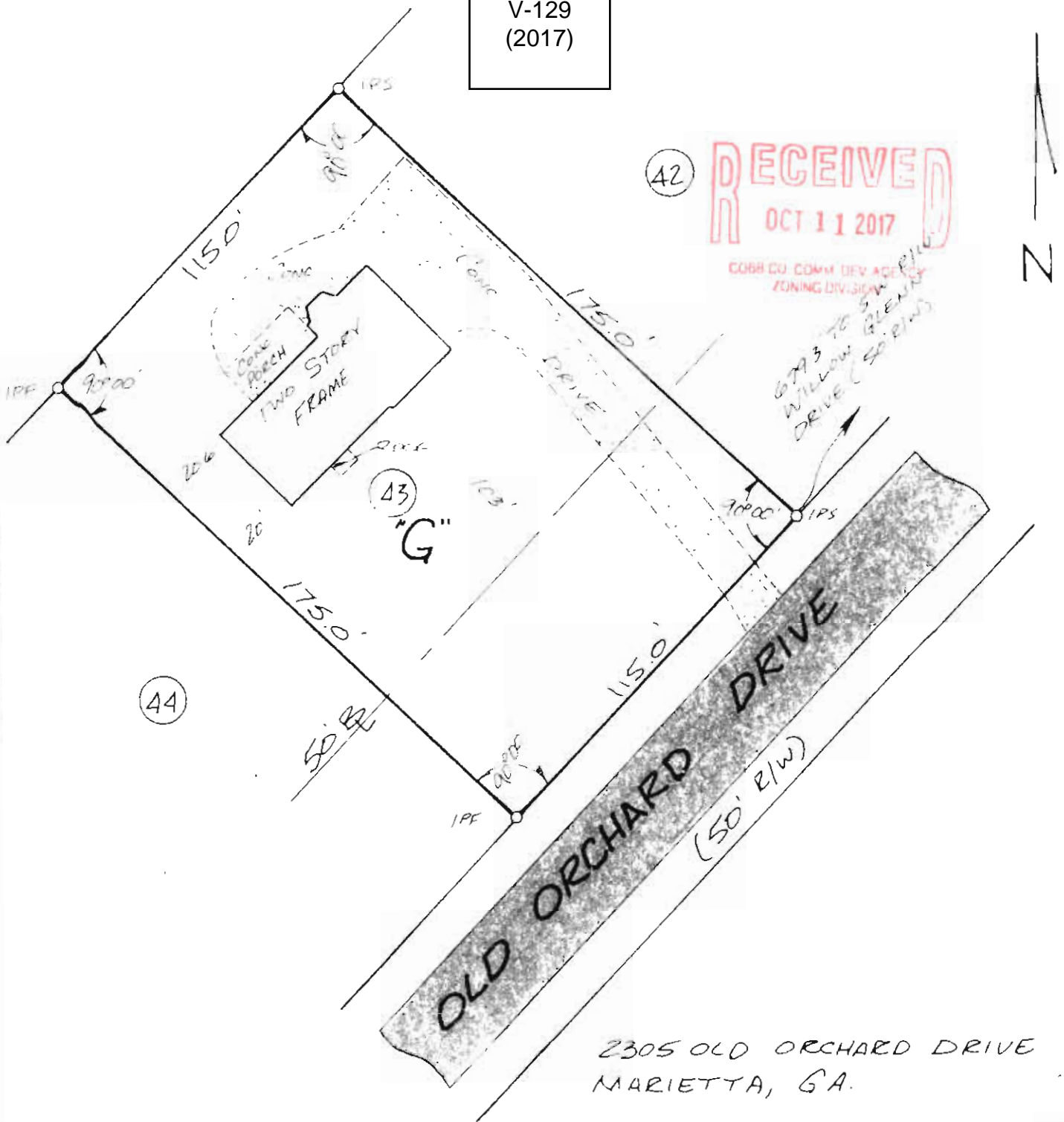
Does the property or this request need a second electrical meter? YES _____ NO

The Cobb County Zoning Ordinance Section 134-94 states that the Cobb County Board of Zoning Appeals must determine that applying the terms of the Zoning Ordinance without the variance would create an unnecessary hardship. Please state what hardship would be created by following the normal terms of the ordinance:

THE CURRENT ZONING OF R-30 WAS AN OVERLAY FOR THIS ORIGINAL R-12 ZONING THE PROPERTY WITH 83' OF FRONTAGE & WIDTH IS SEVERELY RESTRICTED BY THE R-30 SETBACK (SIDE). THE REDUCED WIDTH OF AN R-30 ZONING CREATES A PROBLEM FOR DESIGNING A NEW HOME FOR THIS SITE.

List type of variance requested: THIS REQUEST IS TO APPLY THE SETBACK REQUIREMENT FOR AN R-15 LOT SIZE, INCLUDING 10 FOOT SIDE SETBACKS ON BOTH SIDES.

V-129
(2017)



2305 OLD ORCHARD DRIVE
MARIETTA, GA.

This property is not located in a Federal Flood Area as indicated by FIA Official Flood Hazard Maps.

I hereby certify that this plat is a true and correct representation of the land platted and has been prepared in conformity with the minimum standards and requirements of the law.



Perry E. McClung, Surveyor

4136 South Atlanta Road
Smyrna, GA 30080

PROPERTY	OF
WILLIAM S. WOLCOTT & ANA G. WOLCOTT	

LOT 43, BLK. "G", UNIT THREE
SECTION B - WEATHERSTONE
LAND LOT 1174
DISTRICT 16TH. SECTION 2ND
COUNTY COBB
GEORGIA
DATE 4-24-87 SCALE 1" = 40'

PB 68 PG 101

LIBERTY

APPLICANT: William S. Wolcott and Ana G. Wolcott
PHONE: 404-855-1055
REPRESENTATIVE: Ana G. Wolcott
PHONE: 404-855-1055
TITLEHOLDER: William S. Wolcott and Ana G. Wolcott
PROPERTY LOCATION: On the northwest side of Old Orchard Drive, south of Willow Glenn Drive (2305 Old Orchard Drive).
TYPE OF VARIANCE: Waive the rear setback from the required 35 feet to 30 feet.

PETITION No.: V-129
DATE OF HEARING: 12-13-2017
PRESENT ZONING: R-20
LAND LOT(S): 1174
DISTRICT: 16
SIZE OF TRACT: 0.46 acres
COMMISSION DISTRICT: 2





COBB CO. COMM. DEV. AGENCY
ZONING DIVISION

Application for Variance Cobb County

(type or print clearly)

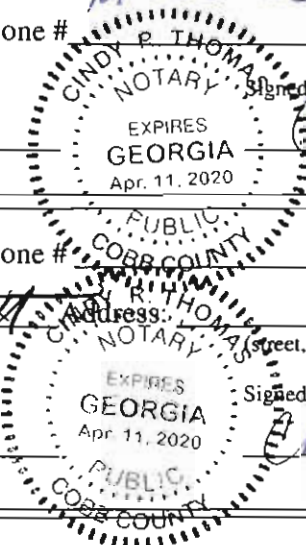
Application No. V-129

Hearing Date: 12-13-17

Applicant William S. Wolcott Phone # 404 855-1055 E-mail wswwfamily@yahoo.com
Anna G. Wolcott
(representative's name, printed) Address 2305 Old Orchard Dr, Marietta, GA
(street, city, state and zip code) 30068

Anna G. Wolcott Phone # 404 855-1055 E-mail wswwfamily@yahoo.com
(representative's signature)

My commission expires: 4-11-2020



Signed, sealed and delivered in presence of:
Cindy R. Thomas
Notary Public

Titleholder same Phone # _____ E-mail _____

Signature Anna G. Wolcott William S. Wolcott Address: _____
(attach additional signatures, if needed) (street, city, state and zip code)

My commission expires: 4-11-2020

Signed, sealed and delivered in presence of:
Cindy R. Thomas
Notary Public

Present Zoning of Property R-20

Location 2305 Old Orchard Dr, Marietta, GA 30068
(street address, if applicable; nearest intersection, etc.)

Land Lot(s) 1174 District Cobb County Size of Tract .46 Acre(s)

Please select the extraordinary and exceptional condition(s) to the piece of property in question. The condition(s) must be peculiar to the piece of property involved.

Size of Property _____ Shape of Property _____ Topography of Property _____ Other

Does the property or this request need a second electrical meter? YES _____ NO

The Cobb County Zoning Ordinance Section 134-94 states that the Cobb County Board of Zoning Appeals must determine that applying the terms of the Zoning Ordinance without the variance would create an unnecessary hardship. Please state what hardship would be created by following the normal terms of the ordinance:

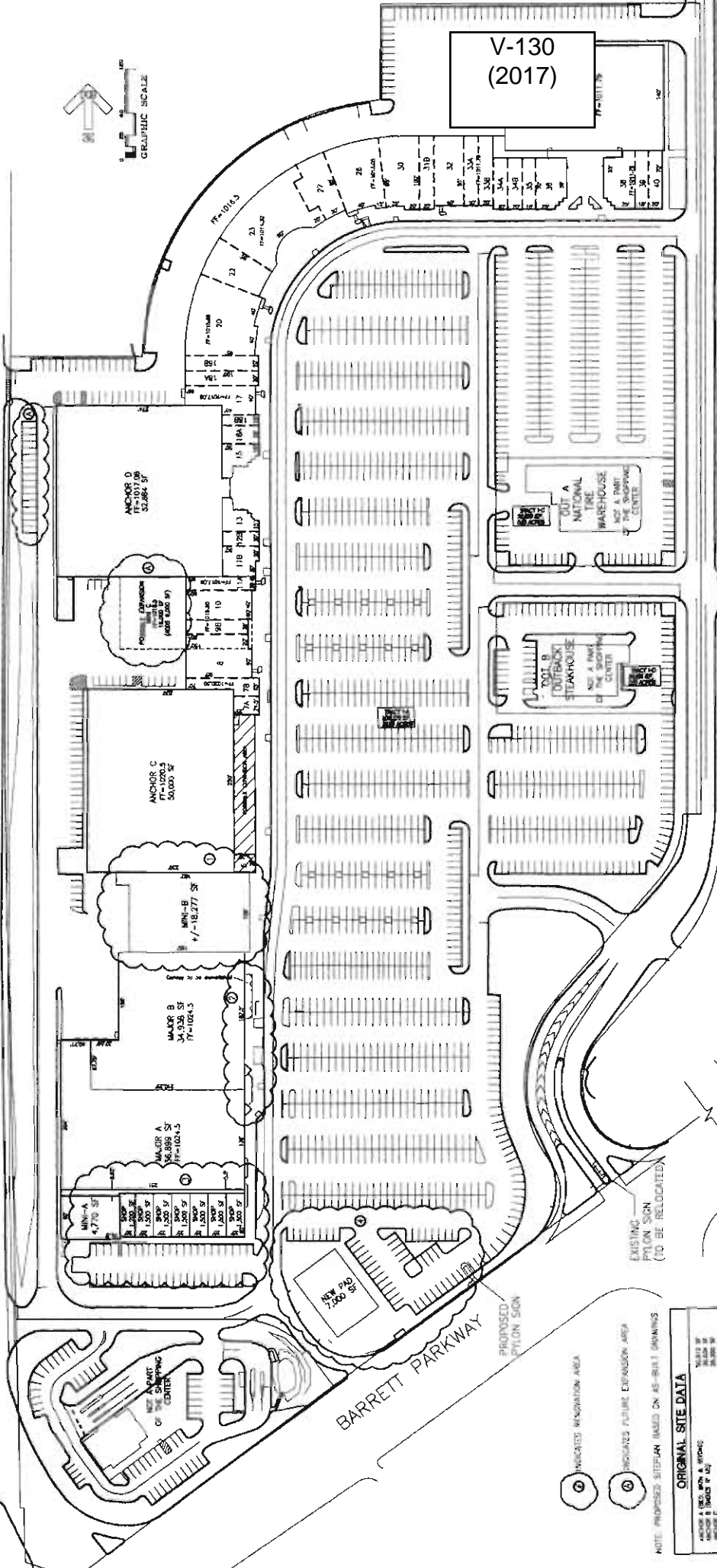
Improve porch that existed when we bought house.
We'll exchange screens for windows, but property porch
is in the rear setback

List type of variance requested: to waive change the rear setback to
30 feet.

BARRETT LAKES BOULEVARD



V-130
(2017)



COBB PLACE PARKWAY

COBB PLACE
KENNESAW, GEORGIA
CONCEPTUAL SITE PLAN

RECEIVED
OCT 11 2017
COBB CO COMM DEV. DIVISION
ZONING DIVISION

NOTE: PROPOSED STEP-PLAN BASED ON AS-BUILT DRAWINGS

INDICATES RENOVATION AREA

INDICATES FUTURE EXPANSION AREA

ORIGINAL SITE DATA

ANCHOR A	77,184 SF
ANCHOR B	77,184 SF
ANCHOR C	50,000 SF
ANCHOR D	32,284 SF
MINI-A	4,772 SF
MINI-B	18,277 SF
MINI-C	7,000 SF
MINI-D	7,000 SF
TOTAL BLDG. AREA	263,428 SF (2.447 AC)
TOTAL PAVED AREA	1,100,000 SF
TOTAL SITE AREA	1,363,428 SF (31.14 AC)

CONCEPTUAL SITE DATA

ANCHOR A	77,184 SF
ANCHOR B	77,184 SF
ANCHOR C	50,000 SF
ANCHOR D	32,284 SF
MINI-A	4,772 SF
MINI-B	18,277 SF
MINI-C	7,000 SF
MINI-D	7,000 SF
TOTAL BLDG. AREA	263,428 SF (2.447 AC)
TOTAL PAVED AREA	1,100,000 SF
TOTAL SITE AREA	1,363,428 SF (31.14 AC)

APPLICANT: Ashley Homestore

PHONE: 847-415-5717

REPRESENTATIVE: Troy A. Funk

PHONE: 847-415-5717

TITLEHOLDER: G&I VIII RCG Cobb Place LLC

PROPERTY LOCATION: At the northeast

intersection of Barrett Lakes Boulevard and Ernest Barrett Parkway

(840 Ernest Barrett Parkway).

PETITION No.: V-130

DATE OF HEARING: 12-13-2017

PRESENT ZONING: GC

LAND LOT(S): 649, 720

DISTRICT: 16

SIZE OF TRACT: 23.26 acres

COMMISSION DISTRICT: 3

TYPE OF VARIANCE: Increase the maximum allowable wall sign from 122 square feet to 282.37.



Application for Variance

Cobb County

(type or print clearly)

Application No. V-130
Hearing Date: 12-13-17



COBB CO. COMM DEV AGENCY
ZONING DIVISION

Applicant Ashley Homestore Phone # 847-415-5717 E-mail tfunk@kieffersigns.com

Troy A. Funk - Keiffer Signs Address 585 Bond Street, Lincolnshire, IL 60069
(representative's name, printed) (street, city, state and zip code)

Troy A Funk Phone # 847-415-5717 E-mail tfunk@keiffersigns.com
(representative's signature)



Signed, sealed and delivered in presence of:
Samantha Bozich
Notary Public

My commission expires: 10/18/2020

Titleholder G & I VIII RCG Cobb Place LLC Phone # 404-816-5454 E-mail JulieR@rcgventures.com

Signature Julie Rogu Address: 3060 Peachtree Rd NW Atlanta GA 30305
(attach additional signatures, if needed) (street, city, state and zip code)



Signed, sealed and delivered in presence of:
Michelle Rooks
Notary Public

My commission expires: 10-01-2018

Present Zoning of Property GC (General Commercial)

Location 840 Ernest Barrett Parkway, Suite 400
(street address, if applicable: nearest intersection, etc.)

Land Lot(s) 649 District 16 Size of Tract 23.262 Acre(s)

Please select the extraordinary and exceptional condition(s) to the piece of property in question. The condition(s) must be peculiar to the piece of property involved.

Size of Property _____ Shape of Property _____ Topography of Property _____ Other

Does the property or this request need a second electrical meter? YES _____ NO _____

The Cobb County Zoning Ordinance Section 134-94 states that the Cobb County Board of Zoning Appeals must determine that applying the terms of the Zoning Ordinance without the variance would create an unnecessary hardship. Please state what hardship would be created by following the normal terms of the ordinance:

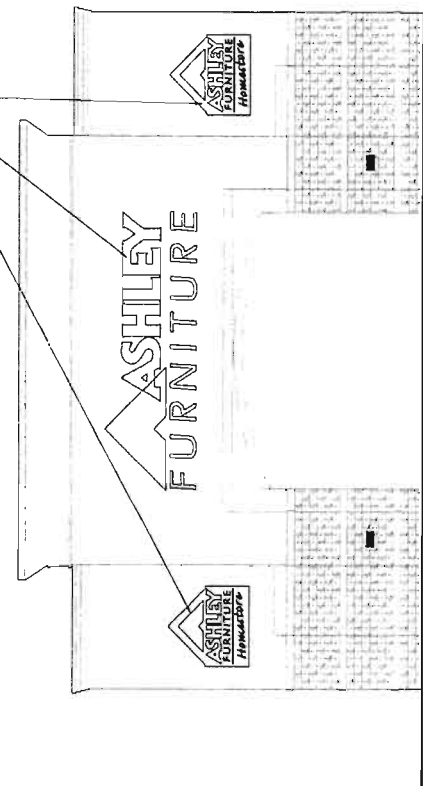
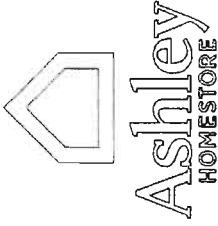
Ashley Homestore has modernized their logo and name for all its stores. They would like to replace the current signage with the new look. The calculation for allowable sign size relates only to the exposed linear feet of the wall and does not account for the overall size of the suite. The new sign is actually less square footage than the existing sign.

List type of variance requested: Increase the maximum allowable wall sign from 122 square feet to 282.37.



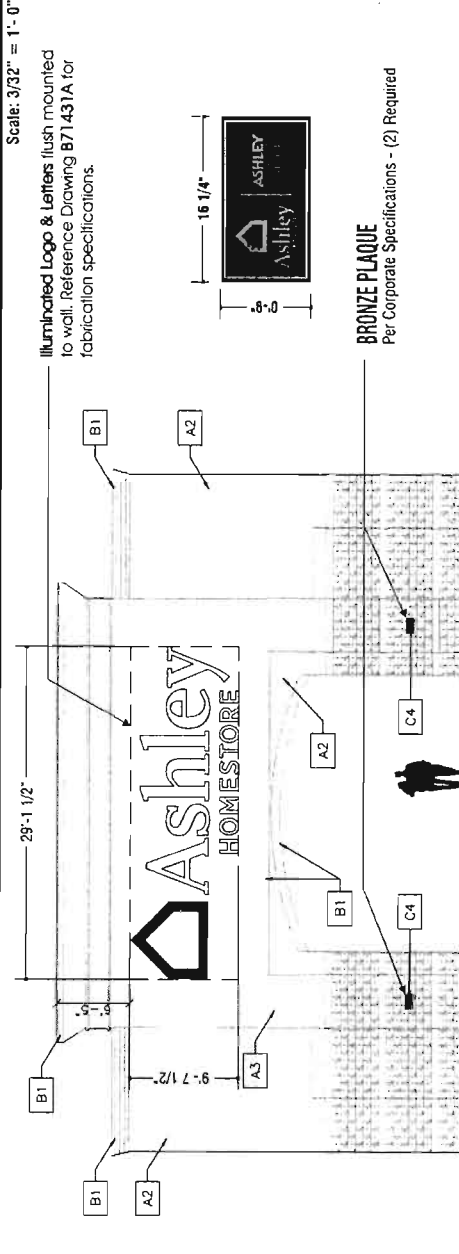
**SITE IDENTIFICATION
FRONT ELEVATION
(Architectural)**

REMOVE EXISTING SIGN AND LEGALLY
REPLACE WITH SEAL. ALL HOLES IN THE EIFS
PATCH WITH EIFS PATCH.



RECEIVED
OCT 11 2017

EXISTING STOREFRONT ELEVATION



Note:
Elevation shown is preliminary. field survey required prior to fabrication of logo/letters.

PROPOSED STOREFRONT ELEVATION

Approved 10.27.16 *Julie Rogers*
Director of Property Management
Red Ventures, LLC
6+I VIII REG Cobb Place, LLC

Scale: 3/32" = 1'-0"
Kennesaw, GA



FOR ALL GENERAL CONTRACTOR WORK, CONTACT US FOR A QUOTE. WE ARE A LICENSED CONTRACTOR IN THE STATE OF GEORGIA. WE ARE A MEMBER OF THE NATIONAL ASSOCIATION OF SIGNAGE MANUFACTURERS (NASM). WE ARE A MEMBER OF THE INTERNATIONAL SIGN ASSOCIATION (ISA). WE ARE A MEMBER OF THE SIGNAGE INSTITUTE (SI). WE ARE A MEMBER OF THE SIGNAGE SOCIETY (SS). WE ARE A MEMBER OF THE SIGNAGE ASSOCIATION (SA). WE ARE A MEMBER OF THE SIGNAGE INDUSTRY ASSOCIATION (SIA). WE ARE A MEMBER OF THE SIGNAGE PROFESSIONAL ASSOCIATION (SPA). WE ARE A MEMBER OF THE SIGNAGE PROFESSIONAL SOCIETY (SPS). WE ARE A MEMBER OF THE SIGNAGE PROFESSIONAL SOCIETY OF AMERICA (SPSA). WE ARE A MEMBER OF THE SIGNAGE PROFESSIONAL SOCIETY OF AMERICA (SPSA).

© 2016 KIEFFER & CO. INC.
545 PARK STREET - LICHTENVA, IL 60069
PHONE: (847) 520-1255 FAX: (847) 520-1448
WWW.KIEFFERSIGNS.COM

CUSTOMER: ASHLEY Furniture
LOCATION: Kennesaw, GA
SALESMAN: LC
DESIGNER: MAK
DATE: 7/12/16

Network
 Design
 Survey
All items checked to Order
COMPANION FILES

PRODUCTION PROCESSING

Kieffer Item #
Job #
-001
-002
-003

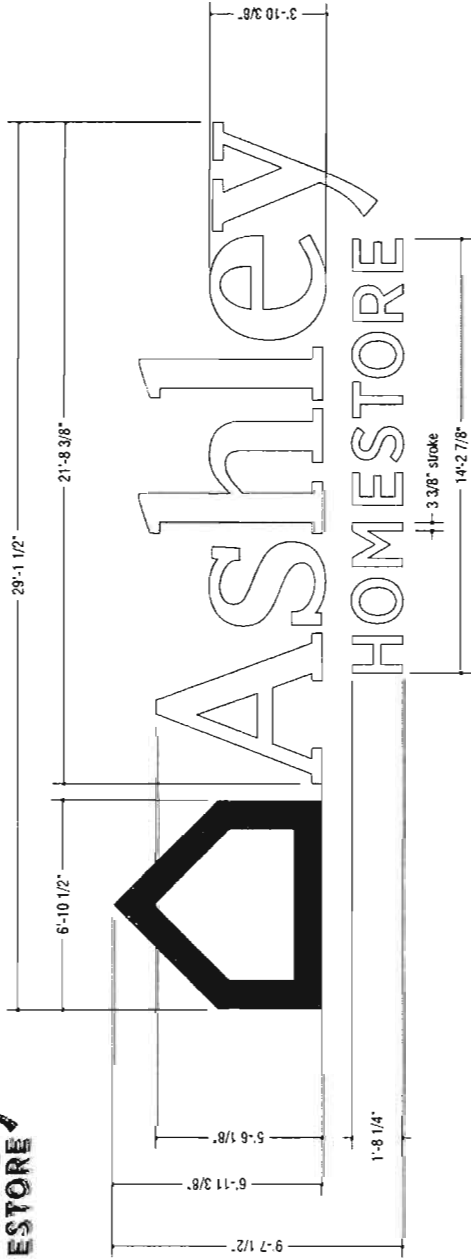
V-130
(2017)
Exhibit

REVISION	DATE	INITIALS
Rev (2) wall plaques per client supplied specifications. JRS	10/20/16	

B71431



L.E.D. Internally Illuminated Channel Letter / Logo Set
Self Contained

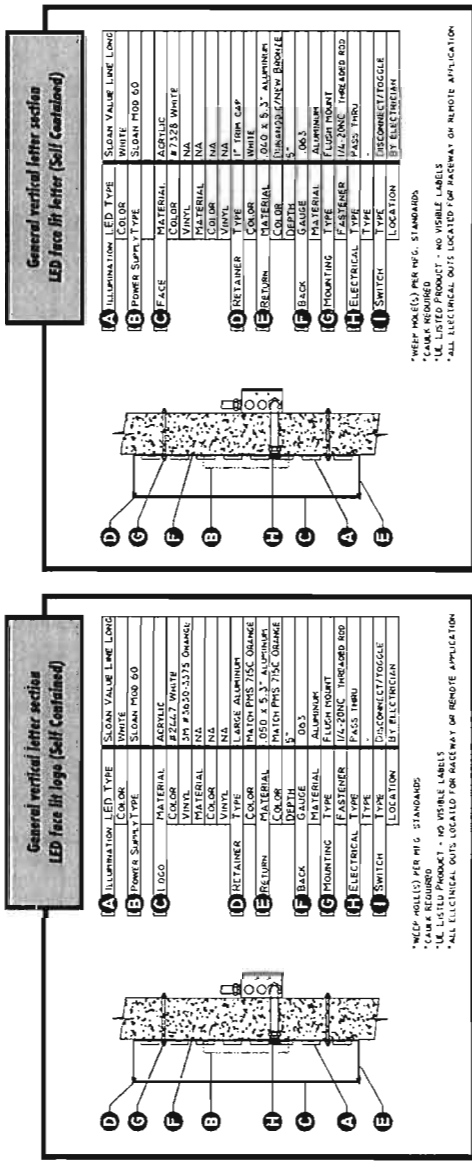


L.E.D. Internally Illuminated Channel Letter / Logo Set

Area = 280.3 Sq Ft

Color Schedule

- Vinyl 3M #3630-3375 Orange
- Acrylic Translucent White Acrylic



RECEIVED
OCT 11 2017
COBB CO COMM DEV AGENCY
ZONING DIVISION

Approved 10.27.16 *Julie Rogien* Kennesaw, GA
Director of Property Management
R&I Ventures, LLC
601 Will Ross Cobb Place, LLC



2010 KIEFFER & CO. INC.
545 Park Street - Lincoln, IL 60069
PHONE: (815) 520-1255 FAX: (815) 520-1543
WWW.KIEFFERSONS.COM

CUSTOMER: ASHLEY Furniture
LOCATION: Kennesaw, GA
SALESMAN: LC
DESIGNER: MAK
DATE: 7/12/16

Network
 Design
 Survey
 All items checked by Order Checker

COMPANION FILES



PRODUCTION PROCESSING
Kieffer Item # _____
Job # _____
-001 _____
-002 _____
-003 _____

V-130
(2017)
Exhibit

INITIALS: _____
DATE: _____

REVISION: _____

B71431A

5423

ABBREVIATION LEGEND

UP THE LAND IS ATTACHED TO THE LAND HAS BEEN RECORDED IN THE PUBLIC RECORDS OF THE STATE OF GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AS SET FORTH IN THE GEORGIA AS A 2017 O.G.A. 15-0-07

ARE 430.00 SQ FT TO 460 ADRESST

36" self closing and latching gate

Proposed 5' Pool Fence with 36" self closing and latching gate

Summit Drive 50' R/W

BETTERTON
SURVEYING & DESIGN, INC.
LAND SURVEYING AND
SUBDIVISION & CONSTRUCTION SITE DESIGN
1000 W. STATE STREET, SUITE 100
MARIETTA, GEORGIA 30067
770.429.1100
WWW.BETTERTONSURVEYING.COM

SYMBOL LEGEND

- Proposed Pool
- Proposed Pool Deck
- Proposed Pool Equipment
- Proposed Pool Coping
- Proposed Pool Steps
- Proposed Pool Firepit
- Proposed Pool Stone
- Proposed Pool Beam
- Proposed Pool Wall
- Proposed Pool Coping
- Proposed Pool Steps
- Proposed Pool Firepit
- Proposed Pool Stone
- Proposed Pool Beam
- Proposed Pool Wall

EXISTING ELEVATION

PROPOSED POOL 34 x 20 with spa 727 sf

Stone firepit

18" well

Pool equipment

Proposed 5' Pool Fence with 36" self closing and latching gate

PROPOSED BATHROOM #4270

PROPOSED SPA #4270

PROPOSED DECK #4270

PROPOSED COPING #4270

PROPOSED STEPS #4270

PROPOSED FIREPIT #4270

PROPOSED STONE #4270

PROPOSED BEAM #4270

PROPOSED WALL #4270

NOTES

1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.
4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.
5. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.
6. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.

PROPERTY CALCULATIONS

PROPOSED HOUSE - 4482 SQ FT

PROPOSED DECK - 1417 SQ FT

PROPOSED STONE WALL & STEPS - 301 SQ FT

TOTAL PROPOSED IMPERVIOUS AREA - 6748 SQ FT

TOTAL LOT AREA - 16,098 SQ FT

AMOUNT OF LOT IMPERVIOUS - 33.2%

SURVEY REFERENCES

1. STATE OF GEORGIA PUBLIC RECORDS, PLAT 35, 2ND EDITION

PLANTING RATES AND PLANTING DATES FOR TEMPORARY COVER

SPECIES	BROADCAST RATES	PLANTING DATES	REMARKS
SPERMATOPHYTES	1.00	1.1.18	1.00 PER 100 SQ FT
Gymnosperms	1.00	1.1.18	1.00 PER 100 SQ FT
Angiosperms	1.00	1.1.18	1.00 PER 100 SQ FT
Palms	1.00	1.1.18	1.00 PER 100 SQ FT
Shrubs	1.00	1.1.18	1.00 PER 100 SQ FT
Grasses	1.00	1.1.18	1.00 PER 100 SQ FT
Wildflowers	1.00	1.1.18	1.00 PER 100 SQ FT
Annuals	1.00	1.1.18	1.00 PER 100 SQ FT
Perennials	1.00	1.1.18	1.00 PER 100 SQ FT
Groundcovers	1.00	1.1.18	1.00 PER 100 SQ FT
Grounds	1.00	1.1.18	1.00 PER 100 SQ FT

COBB CO. COMM. DEV. AGENCY
ZONING DIVISION

TOTAL LOT: 0.459 AC 20025 SQ FT

LOT COVERAGE CALCULATIONS:

EXISTING IMPERVIOUS: 6748 SQ FT

PROP POOL AND SPA (H20): 1149 SQ FT

PROP POOL DECK: 147 SQ FT

PROP STONE COPING & BEAM WALL: 98 SQ FT

PROP STEPS AND WALL: 25 SQ FT

PROP FIREPIT: 32 SQ FT

PROPOSED COVERAGE: 8199 SQ FT OR 40.94%

GRAPHIC SCALE

1" = 30'

REVISIONS

NO.	DATE	DESCRIPTION
1	10/12/2017	ISSUED FOR PERMIT
2	10/12/2017	ISSUED FOR PERMIT
3	10/12/2017	ISSUED FOR PERMIT
4	10/12/2017	ISSUED FOR PERMIT
5	10/12/2017	ISSUED FOR PERMIT
6	10/12/2017	ISSUED FOR PERMIT
7	10/12/2017	ISSUED FOR PERMIT
8	10/12/2017	ISSUED FOR PERMIT
9	10/12/2017	ISSUED FOR PERMIT
10	10/12/2017	ISSUED FOR PERMIT

REVISIONS

NO.	DATE	DESCRIPTION
1	10/12/2017	ISSUED FOR PERMIT
2	10/12/2017	ISSUED FOR PERMIT
3	10/12/2017	ISSUED FOR PERMIT
4	10/12/2017	ISSUED FOR PERMIT
5	10/12/2017	ISSUED FOR PERMIT
6	10/12/2017	ISSUED FOR PERMIT
7	10/12/2017	ISSUED FOR PERMIT
8	10/12/2017	ISSUED FOR PERMIT
9	10/12/2017	ISSUED FOR PERMIT
10	10/12/2017	ISSUED FOR PERMIT

REVISIONS

NO.	DATE	DESCRIPTION
1	10/12/2017	ISSUED FOR PERMIT
2	10/12/2017	ISSUED FOR PERMIT
3	10/12/2017	ISSUED FOR PERMIT
4	10/12/2017	ISSUED FOR PERMIT
5	10/12/2017	ISSUED FOR PERMIT
6	10/12/2017	ISSUED FOR PERMIT
7	10/12/2017	ISSUED FOR PERMIT
8	10/12/2017	ISSUED FOR PERMIT
9	10/12/2017	ISSUED FOR PERMIT
10	10/12/2017	ISSUED FOR PERMIT

6132

SITE PLAN

LOT 33, BLOCK K
INDIAN HILLS COUNTRY CLUB
LOCATED IN DISTRICT
200 SECTION
6000 GEORGIA
PROB FILED FOR
RECORD IN THE
PUBLIC RECORDS OF
THE STATE OF
GEORGIA

6132

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APPLICANT: Donnon Builders Inc

PHONE: 678-358-3072

REPRESENTATIVE: Al Donnon

PHONE: 678-358-3072

TITLEHOLDER: Donnon Builders, Inc.

PROPERTY LOCATION: On the east side of Summit Drive, south of Hillwood Drive (4270 Summit Drive).

TYPE OF VARIANCE: Increase the maximum allowable impervious surface from the required 35% to 41%.

PETITION No.: V-131

DATE OF HEARING: 12-13-2017

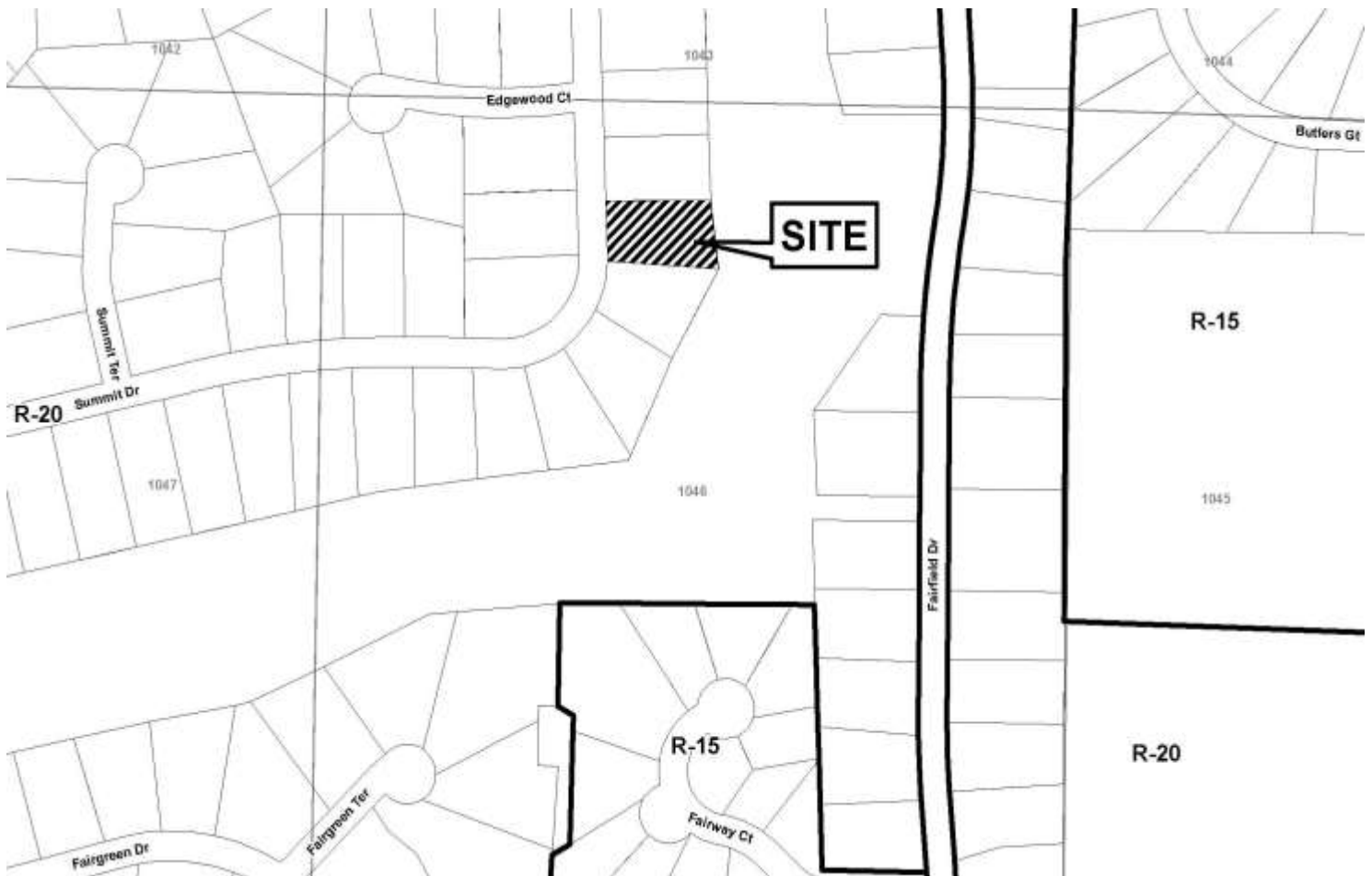
PRESENT ZONING: R-20

LAND LOT(S): 1046

DISTRICT: 16

SIZE OF TRACT: 0.46 acres

COMMISSION DISTRICT: 2





Application for Variance Cobb County

(type or print clearly)

Application No. V-131
Hearing Date: 12-13-17

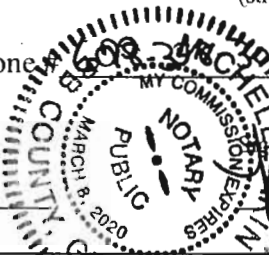
COBB CO. COMM. DEV. AGENCY
ZONING DIVISION

Applicant DONNON Builders Inc Phone # 678-358-3072 E-mail albertdonnon@gmail.com

Al Donnon Address 4490 Karls Gate Dr. Marietta Ga 30068
(representative's name, printed) (street, city, state and zip code)

[Signature] Phone # 678-358-3072 E-mail albertdonnon@gmail.com
(representative's signature)

My commission expires: 3/8/2020
Notary Public



Titleholder DONNON Builders Inc Phone # 678-358-3072 E-mail albertdonnon@gmail.com

Signature [Signature] Address 4490 Karls Gate Drive Marietta Ga. 30068
(attach additional signatures, if needed) (street, city, state and zip code)

My commission expires: 3/8/2020
Notary Public



Present Zoning of Property _____

Location 4270 Summit Drive Marietta Ga. 30068
(street address, if applicable; nearest intersection, etc.)

Land Lot(s) 1046 District 16th Size of Tract .46 Acre(s)

Please select the extraordinary and exceptional condition(s) to the piece of property in question. The condition(s) must be peculiar to the piece of property involved.

Size of Property Shape of Property _____ Topography of Property _____ Other _____

The Cobb County Zoning Ordinance Section 134-94 states that the Cobb County Board of Zoning Appeals must determine that applying the terms of the Zoning Ordinance without the variance would create an unnecessary hardship. Please state what hardship would be created by following the normal terms of the ordinance (If applying for Backyard Chickens pursuant to Sec.134-94(4), then leave this part blank).

List type of variance requested: Impervious - Needed to add Pool
Current use 33.32% Request increase to 40.94%



GENERAL NOTES

THE SURVEY WAS MADE FOR THE PURPOSE OF THE PREPARATION OF THIS SITE PLAN FOR THE PROPOSED CHANGE OF ZONING OF THE PROPERTY SHOWN HEREON. THE SURVEY WAS MADE IN ACCORDANCE WITH THE PROVISIONS OF THE SURVEYING ACT, CHAPTER 47, SECTION 10, AND THE RULES AND REGULATIONS OF THE BOARD OF SURVEYING AND MAPPING, CHAPTER 47, SECTION 10.1.

THE PROPERTY IS NOT TO BE USED FOR A USE OTHER THAN THAT AUTHORIZED BY THE ZONING ORDINANCE OF THE CITY OF ATLANTA, GEORGIA, AND THE SURVEYOR HAS NO LIABILITY FOR ANY VIOLATION OF THE ZONING ORDINANCE OF THE CITY OF ATLANTA, GEORGIA, OR ANY OTHER ZONING ORDINANCE.

THE SURVEYOR HAS NO LIABILITY FOR ANY VIOLATION OF THE ZONING ORDINANCE OF THE CITY OF ATLANTA, GEORGIA, OR ANY OTHER ZONING ORDINANCE.

THE SURVEYOR HAS NO LIABILITY FOR ANY VIOLATION OF THE ZONING ORDINANCE OF THE CITY OF ATLANTA, GEORGIA, OR ANY OTHER ZONING ORDINANCE.

V-132
(2017)

SURVEYOR CERTIFICATION

I, the undersigned, being a duly licensed Surveyor in the State of Georgia, do hereby certify that I am the author of the foregoing and that the same is a true and correct copy of the original as the same appears in my records.

DATE: 10/12/2017
 SURVEYOR: MICHAEL L. RIDDLE

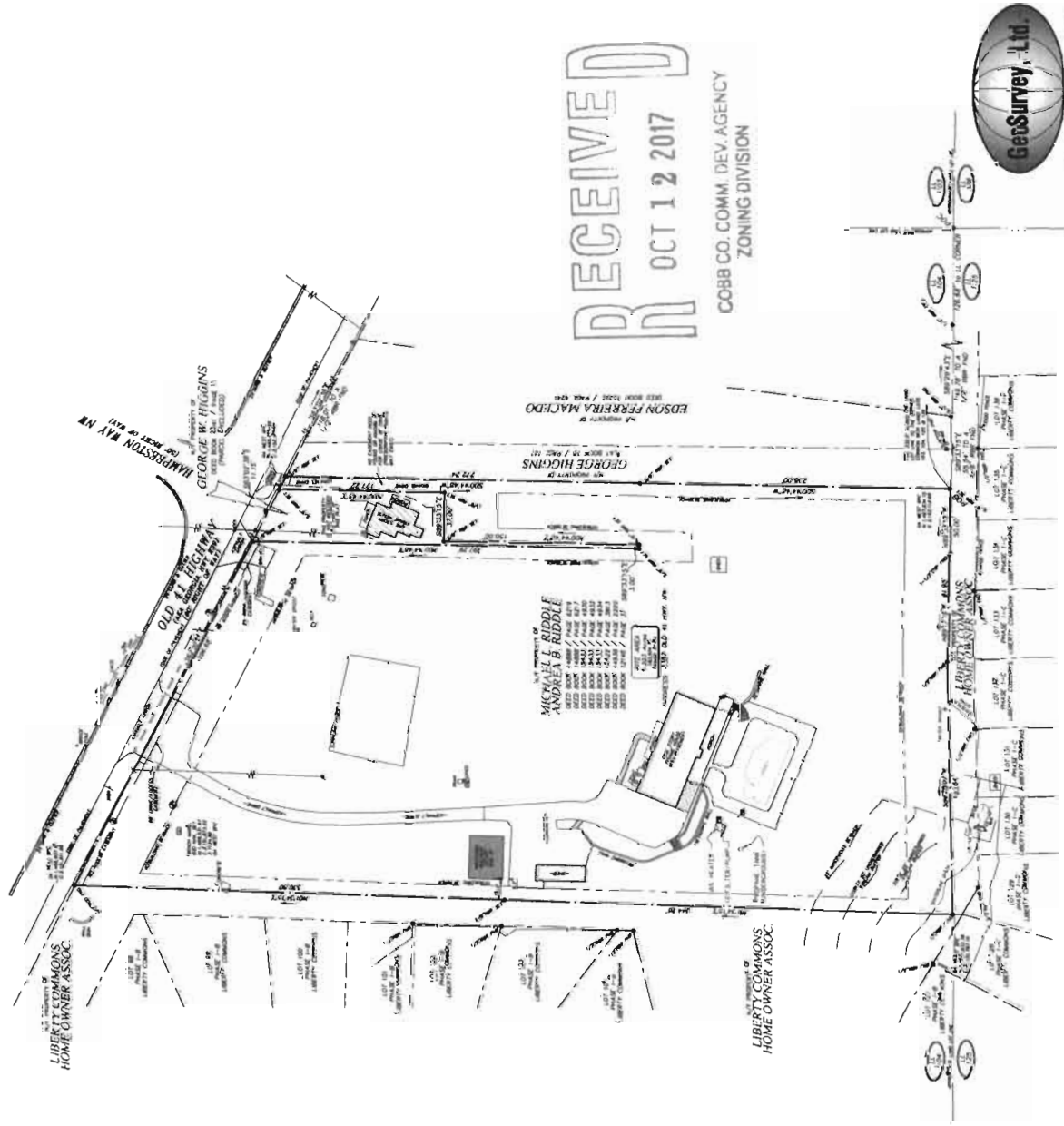
SITE PLAN FOR PROPOSED CHANGE OF ZONING

3387 Old 41 Highway

FOR

**MICHAEL L. RIDDLE
ANDREA B. RIDDLE**

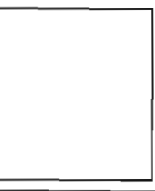
FILE NO.	2017-115-0	DATE	10/12/2017
FILED	AT	CITY	ATLANTA
APPROVED	JAC	DATE	10/12/2017
DATE FILED	2017-115-0	BOOK	2017



RECEIVED
 OCT 12 2017
 COBB CO. COMM. DEV. AGENCY
 ZONING DIVISION



GeoSurvey, Ltd.
 1840 Marietta Mill Road
 Marietta, Georgia 30066
 Phone: (770) 995-3900
 Fax: (770) 252-0800
 Email: info@geosurvey.com



LEGEND

PROPERTY BOUNDARIES: ...

EASEMENTS: ...

PROPOSED STRUCTURES: ...

EXISTING UTILITIES: ...

CELESTIAL STATEMENT

I, the undersigned, being a duly licensed Surveyor in the State of Georgia, do hereby certify that I am the author of the foregoing and that the same is a true and correct copy of the original as the same appears in my records.

IF YOU Dig

Know what's below.
 before you dig.
 Call
 Dial 811
 Or Call 800-382-7411

APPLICANT: Michael Riddle

PHONE: 770-974-8353

REPRESENTATIVE: Michael Riddle

PHONE: 770-974-8353

TITLEHOLDER: Michael Riddle and Andrea Berry Riddle

PROPERTY LOCATION: On the south side of Old 41 Highway, south of Liberty Commons Drive (3387 Old 41 Highway).

PETITION No.: V-132

DATE OF HEARING: 12-13-2017

PRESENT ZONING: R-20

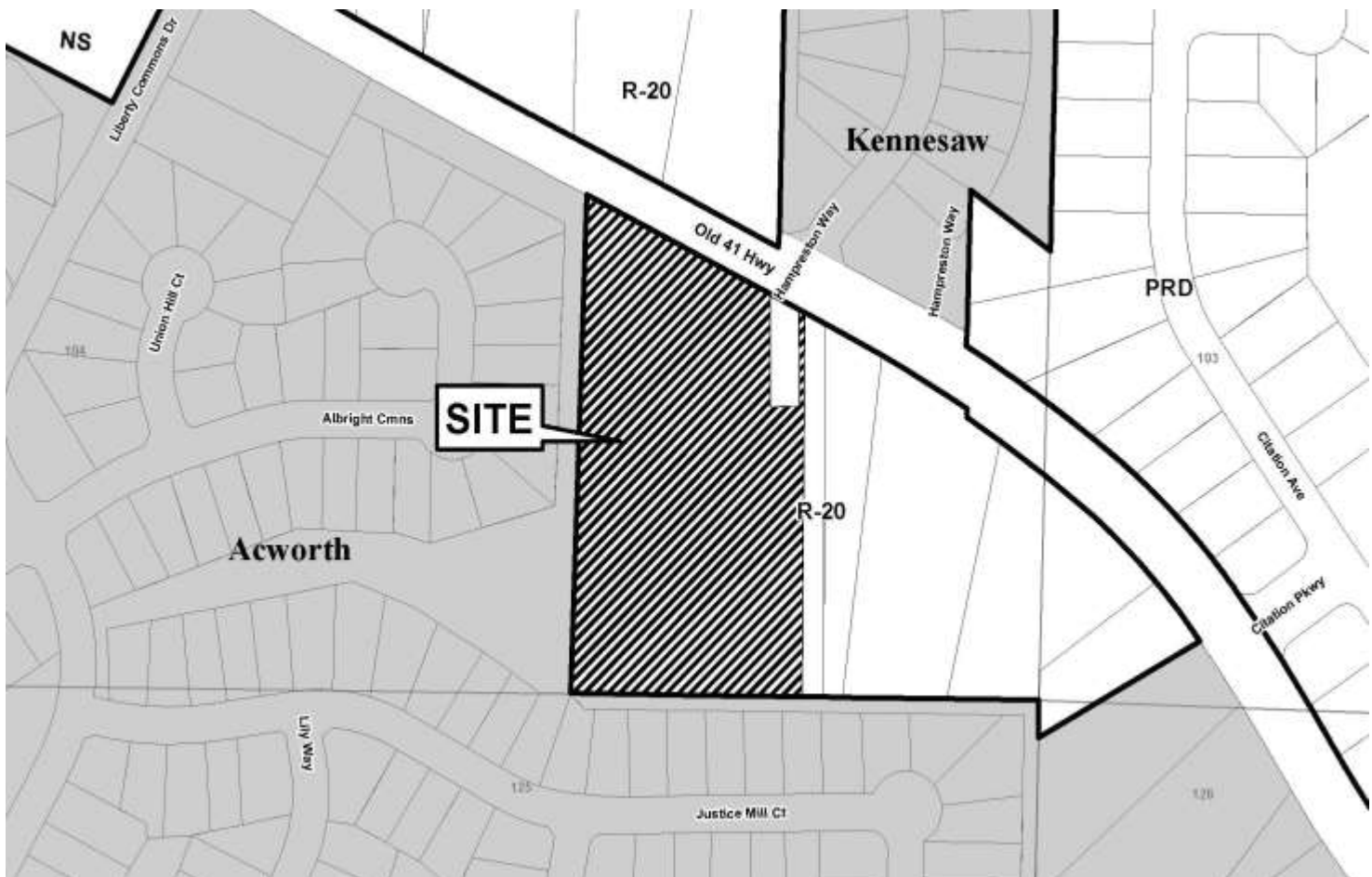
LAND LOT(S): 104

DISTRICT: 20

SIZE OF TRACT: 4.22 acres

COMMISSION DISTRICT: 1

TYPE OF VARIANCE: 1) Allow an accessory structure to the front of the principle building (proposed 858 square foot building and approximately 456 square foot existing shed); and 2) waive the required side setback for an accessory structure over 650 square feet (proposed 858 square foot building) from the required 100 feet to 15 feet adjacent to the western property line.





Application for Variance Cobb County

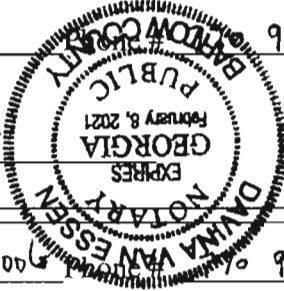
(type or print clearly)

Application No. V-132
Hearing Date: 12-13-17

Applicant Michael Riddle Phone # 770 974-8353 E-mail riddle3387@comcast.net
Michael Riddle Address 3387 Old 41 Hwy Kennesaw, GA 30144
(representative's name, printed) (street, city, state and zip code)

x [Signature] 974-8353 E-mail riddle3387@comcast.net
(representative's signature)

My commission expires: 02/08/2021



Signed, sealed and delivered in presence of:
[Signature]
Notary Public

Titleholder Michael & Andrea Riddle Phone # 770 974-8353 E-mail riddle3387@comcast.net
Signature x [Signature] Address: 3387 Old 41 Hwy Kennesaw, GA 30144
(attach additional signatures, if needed) (street, city, state and zip code)

x Andrea B Riddle

My commission expires: 02/08/2021



Signed, sealed and delivered in presence of:
[Signature]
Notary Public

Present Zoning of Property R-20

Location 3387 Old 41 Hwy Kennesaw, GA 30144
(street address, lot number, nearest intersection, etc.)

Land Lot(s) 104 District 20 Size of Tract 4.223 Acre(s)

Please select the extraordinary and exceptional condition(s) to the piece of property in question. The condition(s) must be peculiar to the piece of property involved.

Size of Property _____ Shape of Property _____ Topography of Property Other _____

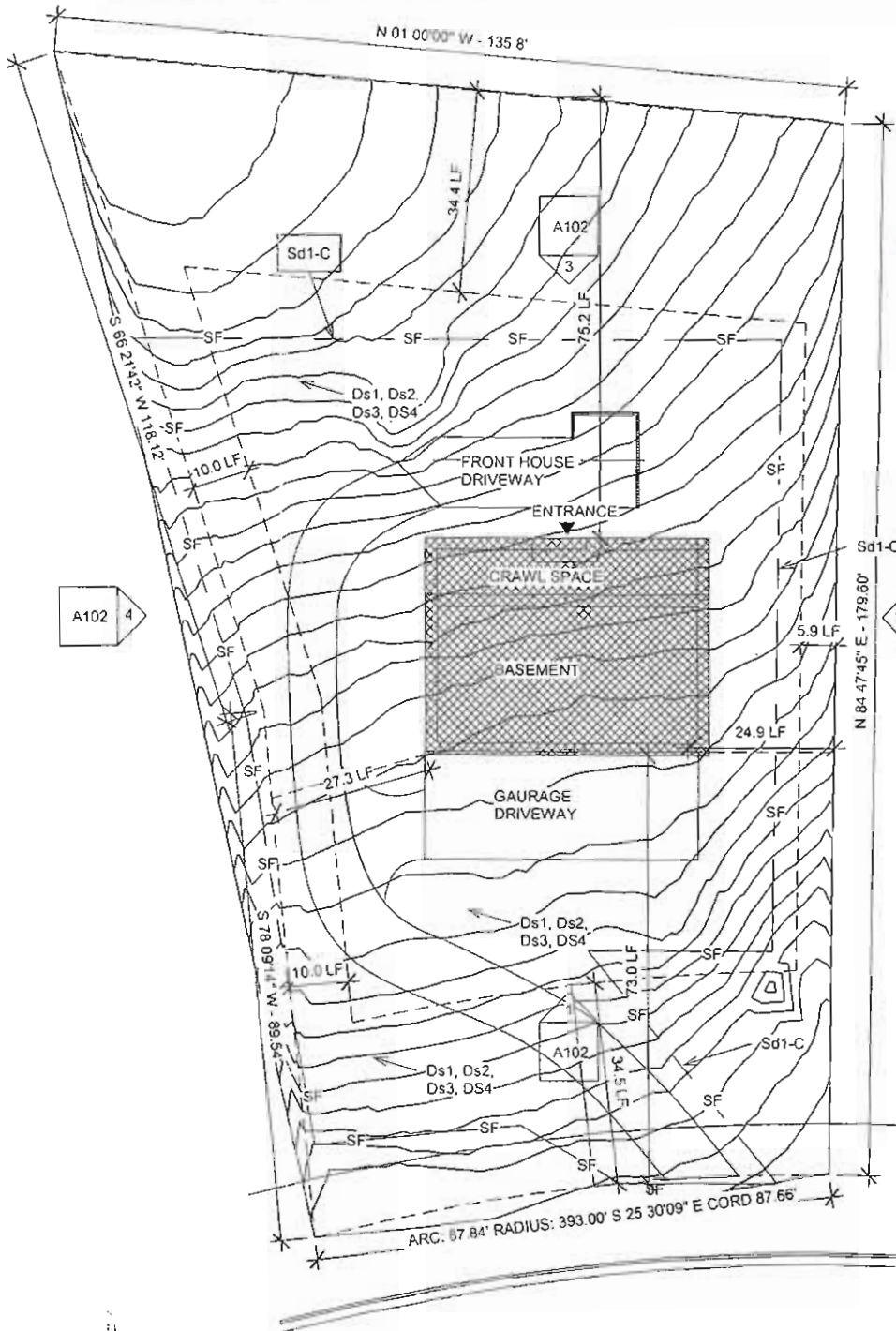
Does the property or this request need a second electrical meter? YES _____ NO - 2 current meters

The Cobb County Zoning Ordinance Section 134-94 states that the Cobb County Board of Zoning Appeals must determine that applying the terms of the Zoning Ordinance without the variance would create an unnecessary hardship. Please state what hardship would be created by following the normal terms of the ordinance:

- garage can only be located in front of residence because of topography
- the setback too great for 33' x 26' detached garage

List type of variance requested:
- set back allowance for 33' x 26' garage
- garage to be located in front of residence

RECEIVED
OCT 16 2017
COBB CO. COMM.
ZONING DIVISION



NOTICES:

1) ESTABLISH
HERE SEEDINGS
PRODUCE AN

2) SEEDING)
FAST GROWING

3) VEGETATION)
TREES,
BED AREAS.

4) ESTABLISH
DESIRED SIZE
ING. SOD TO BE

1 Site
1" = 20'-0"



APPLICANT: Hussein Abaza

PETITION No.: V-133

PHONE: 252-412-4035

DATE OF HEARING: 12-13-2017

REPRESENTATIVE: Hussein Abaza

PRESENT ZONING: R-20

PHONE: 252-412-4035

LAND LOT(S): 1057

TITLEHOLDER: Hussein Abaza

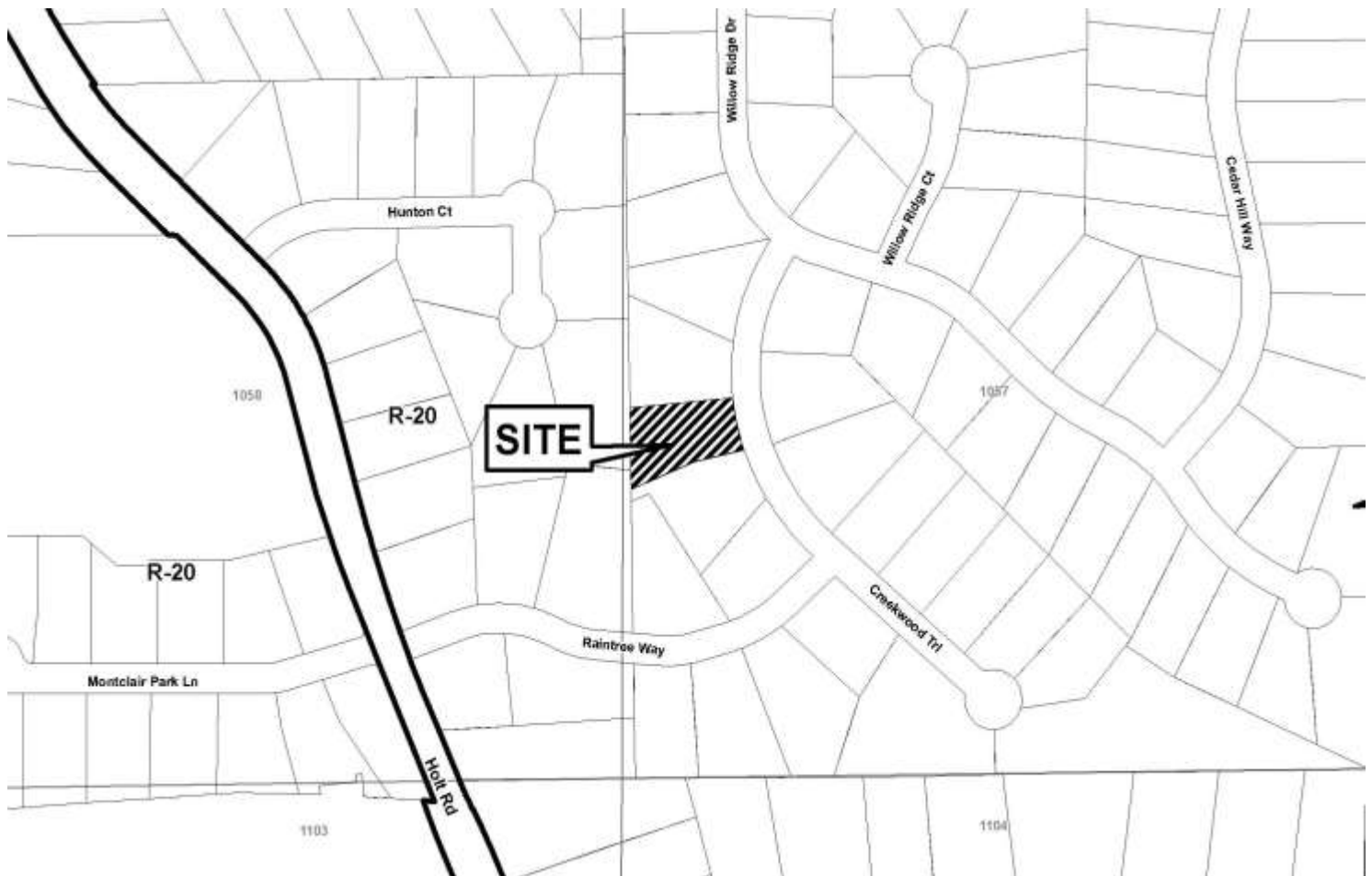
DISTRICT: 16

PROPERTY LOCATION: On the west side of
Creekwood Trail, north of Raintree Way
(669 Creekwood Trail).

SIZE OF TRACT: 0.5 acres

COMMISSION DISTRICT: 2

TYPE OF VARIANCE: Increase the maximum height of a residential structure from the required 35 feet to 46.5 feet.





Application for Variance Cobb County

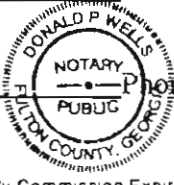
(type or print clearly)

Application No. V-133
Hearing Date: 12-13-17

Applicant Hussein Abaza Phone # 2524124035 E-mail habaza@Kennesaw.edu

Hussein Abaza Address 3017 Canton Pines PL Marietta, GA 30068
(representative's name, printed) (street, city, state and zip code)

[Signature] Phone # 2524124035 E-mail habaza@Kennesaw.edu
(representative's signature)



Signed, sealed and delivered in presence of:
[Signature]
Notary Public

My commission expires: _____ My Commission Expires
March 15, 2021

Titleholder Hussein Abaza Phone # 2524124035 E-mail habaza@Kennesaw.edu

Signature [Signature] Address: 3017 Canton Pines PL Marietta, GA 30068
(attach additional signatures, if needed) (street, city, state and zip code)



Signed, sealed and delivered in presence of:
[Signature]
Notary Public

My commission expires: _____ My Commission Expires
March 15, 2021

Present Zoning of Property R-20

Location 669 Creekwood Tr.
(street address, if applicable; nearest intersection, etc.)

Land Lot(s) 1057 District 16 Size of Tract .5 Acre Acre(s)

Please select the extraordinary and exceptional condition(s) to the piece of property in question. The condition(s) must be peculiar to the piece of property involved.

Size of Property .5 Acre Shape of Property rectangular Topography of Property sloped Other _____

Does the property or this request need a second electrical meter? YES _____ NO _____

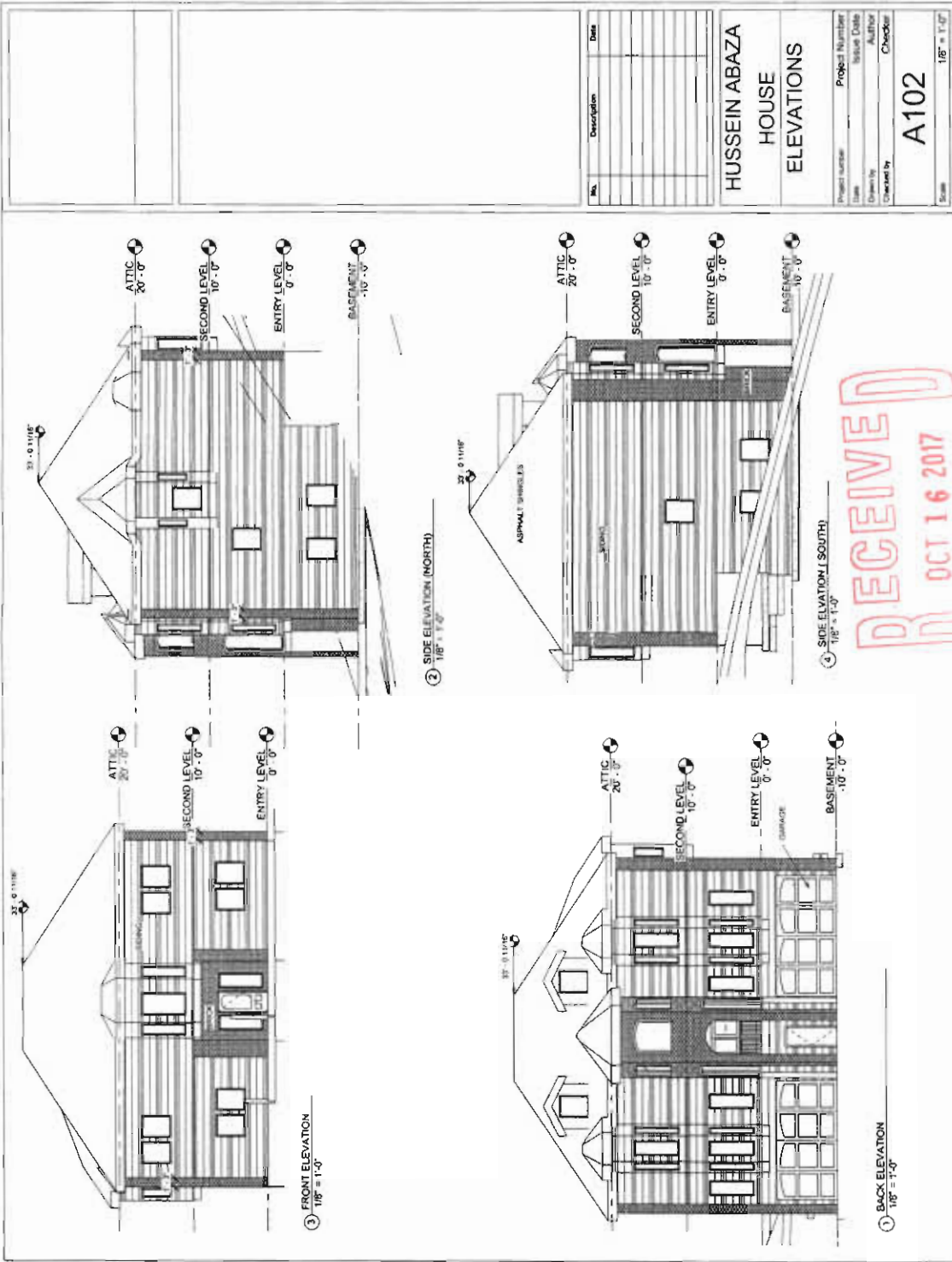
The Cobb County Zoning Ordinance Section 134-94 states that the Cobb County Board of Zoning Appeals must determine that applying the terms of the Zoning Ordinance without the variance would create an unnecessary hardship. Please state what hardship would be created by following the normal terms of the ordinance:

The front of the house needs to be facing the back set back because of the sloped topography of the lot the back setback is larger than what is required for front setback

List type of variance requested: allow the front of the house to face the back setback of the lot

V-133
(2017)
Exhibit

PL 05 05 2 1007 101



RECEIVED
OCT 16 2017
GENERAL CONTRACTOR - REV. AGENCY
ZUNINDUNISUN

APPLICANT: Marietta Alliance Church

PETITION No.: V-134

PHONE: 404-219-1438

DATE OF HEARING: 12-13-2017

REPRESENTATIVE: David W. Breaden

PRESENT ZONING: R-20

PHONE: 404-219-1438

LAND LOT(S): 813

TITLEHOLDER: Marietta Alliance Church

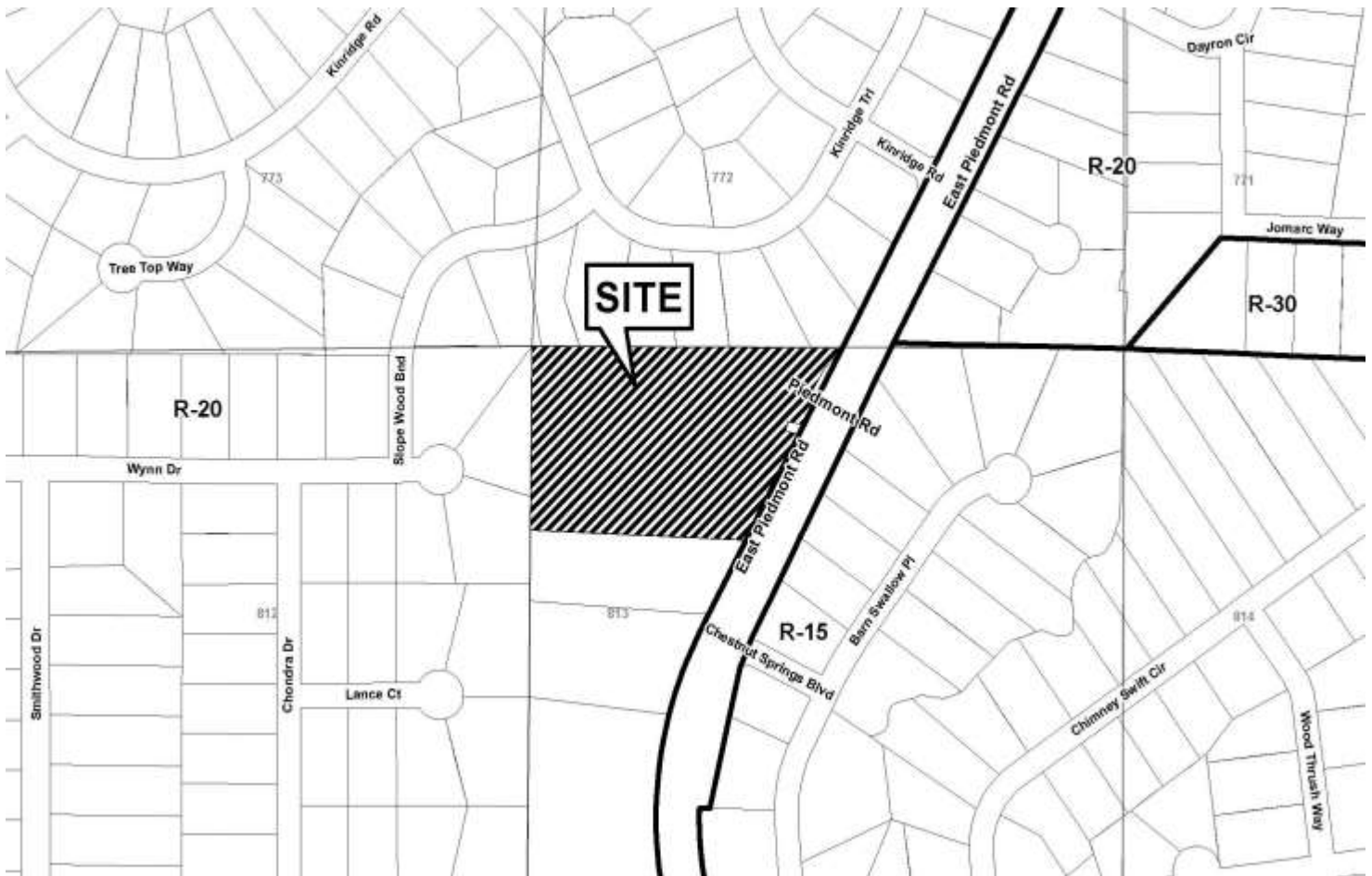
DISTRICT: 16

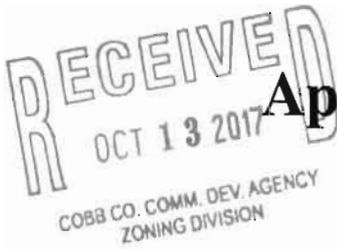
PROPERTY LOCATION: On the west side of East
Piedmont Road, north of Chestnut Springs Boulevard
(1787 East Piedmont Road).

SIZE OF TRACT: 5 acres

COMMISSION DISTRICT: 3

TYPE OF VARIANCE: Sign variance to allow face replacement without conversion to monument based sign.





Application for Variance Cobb County

(type or print clearly)

Application No. V-134
Hearing Date: 12.13.17

Applicant Marietta Alliance Church Phone # _____ E-mail m.alliance@comcast.net

David W. Breaeden Address 1787 E. Piedmont Road, Marietta, GA 30062
(representative's name, printed) (street, city, state and zip code)

[Signature] Phone # 404-219-1438 E-mail dbreaeden@cobbcounty.org
(representative's signature)

Signed, sealed and delivered in presence of:

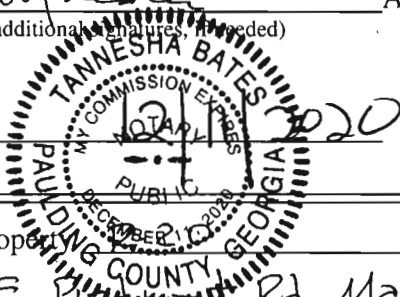
My commission expires: _____ Notary Public

Titleholder David W Breaeden Phone # _____ E-mail _____

Signature [Signature] Address: _____
(attach additional signatures, if needed) (street, city, state and zip code)

Signed, sealed and delivered in presence of:

My commission expires: _____ [Signature]
Notary Public



Present Zoning of Property _____

Location 1787 E. Piedmont Rd, Marietta, GA 30062
(street address, if applicable; nearest intersection, etc.)

Land Lot(s) 813 District 16 Size of Tract 5.0 Acre(s)

Please select the extraordinary and exceptional condition(s) to the piece of property in question. The condition(s) must be peculiar to the piece of property involved.

Size of Property _____ Shape of Property _____ Topography of Property _____ Other

Does the property or this request need a second electrical meter? YES _____ NO

The Cobb County Zoning Ordinance Section 134-94 states that the Cobb County Board of Zoning Appeals must determine that applying the terms of the Zoning Ordinance without the variance would create an unnecessary hardship. Please state what hardship would be created by following the normal terms of the ordinance:

To allow replacement of face w/ new logo without conversion to monument based structure. Current sign was approved as free standing sign in 2002.

List type of variance requested: Sign variance to allow face replacement without conversion to monument base sign.

68"

36"

24"

31"

13"

96"

33"

24"

82"

